

TOWN OF BAY HARBOR ISLANDS  
DEVELOPMENT & REVIEW COMMITTEE MEETING  
THURSDAY, JANUARY 12, 2023

11:00 A.M.

**CALL TO ORDER:** Set for 11:00 AM

**PLEDGE OF ALLEGIANCE:**

**ROLL CALL:**

1. Review and discussion of Site Plan Application by DDG 100 Street BHI, LLC, to construct an 18-unit Multi-Family Development to be located at 1130 - 1140 100 Street. Enclosed are the Site Plans and the Staff Report prepared by Town Planner Michael Miller.

**ADJOURNMENT:**

# APPLICATION FOR SITE PLAN REVIEW



Legal description of real property in the Town of Bay Harbor Islands, Florida for which site plan approval is requested.

LOTS 5 & 6, BLOCK 8, OF BAY HARBOR ISLAND ACCORDING TO THE PLAT  
THEREOF, AS RECORDED IN PLAT BOOK 46, PAGE 5, OF THE PUBLIC RECORDS  
OF MIAMI-DADE COUNTY, FLORIDA

Folio # 13-2227-001-1670/13-2227-001-1690

## Town Council

Jordan W. Leonard  
Mayor

Stephanie Bruder  
Vice Mayor

Joshua D. Fuller  
Council Member

Kelly Reid  
Council Member

Isaac Salver  
Council Member

Elizabeth Tricoche  
Council Member

Robert Yaffe  
Council Member

Size of described property 150.0' x 150.0' 22,500 SF

Project Description New Construction - Condo Units 18

Owner(s) Name DDG 100th St BHI LLC

Mailing Address 138 Pioneer St

City Brooklyn State NY Zip 11231

Phone Number 718-852-8162 Email lee@redhoek.com/elliott@redhoek.com

Signature of Owner

Name of Applicant (if different from owner) Same as Owner

Mailing Address

## Town Officials

Ronald J. Wasson  
Town Manager

Marlene M. Siegel  
Town Clerk

Craig B. Sherman  
Town Attorney

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone Number \_\_\_\_\_ Email \_\_\_\_\_

Signature of Applicant \_\_\_\_\_

Name of Representative \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone Number \_\_\_\_\_ Email \_\_\_\_\_

## TO BE COMPLETED BY TOWN OF BAY HARBOR ISLANDS

Date Received \_\_\_\_\_ By \_\_\_\_\_

Process Number \_\_\_\_\_ Fee Paid \_\_\_\_\_

MAYOR JOSEPH J. GARDNER GOVERNMENT CENTER



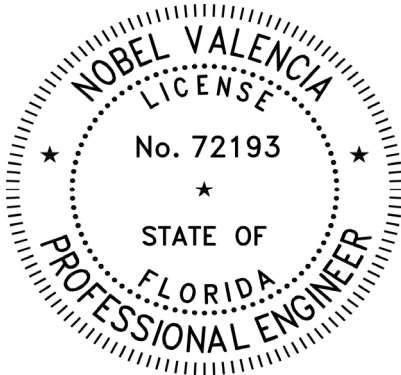


Civil Engineers

## DRAINAGE CALCULATIONS

**1130-40 100th Street**

**1130-40 100th Street, Bay Harbor Islands, FL.**



This item has been digitally signed and sealed by Nobel Valencia, P.E., on the date adjacent to the seal.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

12/18/2022

By: Nobel Valencia, P.E.

12/18/2022

## COEFFICIENT OF RUNOFF

COEFFICIENT	IMPERVIOUS (C <sub>i</sub> )	ROOF (C <sub>r</sub> )	SWALE (C <sub>s</sub> )	GRASS (C <sub>g</sub> )
	0.9	0.9	0.3	0.3
AREA	IMPERVIOUS (A <sub>i</sub> )	ROOF (A <sub>r</sub> )	SWALE (A <sub>s</sub> )	GRASS (A <sub>g</sub> )
AREA (Sq. Ft.)	1561.00	15209.00	4042.00	1688.00
AREA (Acres)	0.04	0.35	0.09	0.04
TOTAL AREA (Sq. Ft.)	A <sub>t</sub> = A <sub>i</sub> + A <sub>r</sub> + A <sub>s</sub> + A <sub>g</sub> + A <sub>p</sub>			A <sub>t</sub> = 22500 Sq. ft
TOTAL AREA (Acres)	A <sub>t</sub> = A <sub>i</sub> + A <sub>r</sub> + A <sub>s</sub> + A <sub>g</sub> + A <sub>p</sub>			A <sub>t</sub> = 0.52 Ac.
WEIGHTED COEFFICIENT	C <sub>w</sub> = (A <sub>i</sub> C <sub>i</sub> + A <sub>r</sub> C <sub>r</sub> + A <sub>s</sub> C <sub>s</sub> + A <sub>g</sub> C <sub>g</sub> ) / A <sub>t</sub>			C <sub>w</sub> = 0.747

## DESIGN PARAMETERS

EXFILTRATION TRENCH FOR CATCH BASINS (ON-SITE)				GENERAL			
Rainfall Depth (in) 10 year/24 Hr	R=	6.20	inches	Total Area of Site (Acres)	=	0.52	Acres
Hydraulic conductivity, (K) cfs / ft <sup>2</sup> -ft.head *				Flood Zones	=	"AE"	
Test #1		1.20E-04		Base Flood Elevation (FEMA)	=	9.00	NGVD
Test #2				Dade County Flood Criteria	=	5.00	NGVD
	Average	1.20E-04		Water Table Elevation (October H.W.)	=	2.00	NGVD
Depth to Water Table (feet) **	(H <sub>2</sub> )	3.20	feet	Design Storm	=	10 year/24hr	
Non-Saturated Trench Depth (feet) **	(D <sub>u</sub> )	1.50	feet	Time of Concentration (min.)	=	15	
Saturated Trench Depth (feet) **	(D <sub>s</sub> )	11.80	feet				
Width (feet)	(W)	4	feet				
* Information Provided By:	All State Engineering						
* Test Conducted on :	12/9/2022						
** Refer to Exfiltration Trench Diagram							

## FORMULAS

VOLUME TREATED (V)  $V = C_w A R$

LENGTH OF TRENCH \*\*  $L = \frac{V}{K(2H_2D_u - D_u^2 + 2H_2D_s) + 1.39 \times 10^{-4} WD_u}$

\*\* Taken from South Florida Water Management District Permitting Information Manual. Volume IV - 2012.

## DRAINAGE STRUCTURES AREAS

DRAINAGE AREA NUMBER		ON-SITE	-	-	-	-	-	-	-	-	-
Total Impervious Area	A <sub>i</sub>	1561.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total Area of Roof	A <sub>r</sub>	15209.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total Area of Swale	A <sub>s</sub>	4042.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total Area of Grass	A <sub>g</sub>	1688.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL AREA ( Sq. Ft.)	A <sub>t</sub>	22500	0	0	0	0	0	0	0	0	0
TOTAL AREA (Acres)	A <sub>t</sub>	0.52	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

## EXFILTRATION TRENCH CALCULATIONS

DRAINAGE AREA NUMBER		ON-SITE	-	-	-	-	-	-	-	-	-
Area (Sq Feet)	A	22500	0	0	0	0	0	0	0	0	0
Volume Treated (acre-inch)	V	2.39	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Trench Width (Feet)	W	4	4	4	4	4	4	4	4	4	4
Hydraulic Conductivity, K	K	1.20E-04	1.20E-04	1.20E-04	1.20E-04	1.20E-04	1.20E-04	1.20E-04	1.20E-04	1.20E-04	1.20E-04
Depth to Water Table	H <sub>2</sub>	3.2	3.2	3.2	3.2	3.2	3.2	3.2	3.2	3.2	3.2
Non-Saturated Trench Depth (feet)	D <sub>u</sub>	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Saturated Trench Depth (feet)	D <sub>s</sub>	11.8	11.8	11.8	11.8	11.8	11.8	11.8	11.8	11.8	11.8
Length of Trench Required (ft)	L	222.01	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Min. Length of Trench Used (ft)	L	250	0	0	0	0	0	0	0	0	0

PROJECT NAME **1130-40 100th Street**  
**ON-SITE Drainage**  
 PROJECT LOCATION **1130-40 100th Street, Bay Harbor Islands, FL.**  
 DATE **December 18, 2022**

C FACTOR FOR IMPERVIOUS AREA	0.9
C FACTOR FOR PERVIOUS AREAS	0.3
ACRES OF IMPERVIOUS AREAS	0.38
ACRES OF PERVIOUS AREAS	0.13
LINEAR FEET OF FRENCH DRAIN PROVIDED	<b>250.00</b>
RATE OF EXFILTRATION PER LINEAR FOOT	0.010
WEIGHTED COEFFICIENT OF RUN-OFF	<b>0.75</b>
STORAGE AVAILABLE IN SYSTEM (C.F. PER 1000)	<b>0.65</b>
TOTAL DRAINAGE AREA	<b>0.52</b>

**TIME TO GENERATE ONE INCH OF RUN-OFF IN MINUTES**

VOLUME OF ONE INCH OF RUN-OFF IN C.F.	1875
DESIGN STORM EVENT	<b>10 Year/24 Hr</b>
INITIAL TIME OF CONCENTRATION	15
TIME TO GENERATE ONE INCH OF RUN-OFF	12.55
TOTAL TIME TO GENERATE ONE INCH OF RUN-OFF	27.55

**MASS DIAGRAM FOR 5 YEAR STORM**

TIME MIN.	INT I/H	RUN-OFF C.F.S.	CUM-RUN. C.F. X 1000
0	0.00	0.00	0.00
5	7.39	2.85	0.86
10	6.74	2.60	1.56
15	6.20	2.39	2.15
20	5.74	2.21	2.66
25	5.34	2.06	3.09
30	4.99	1.93	3.47
40	4.42	1.70	4.09
50	3.96	1.53	4.59
60	3.59	1.39	4.99
90	2.80	1.08	5.84
120	2.30	0.89	6.39
150	1.95	0.75	6.77
180	1.69	0.65	7.05
240	1.34	0.52	7.44
360	0.94	0.36	7.87
480	0.73	0.28	8.10
720	0.50	0.19	8.35
1080	0.34	0.13	8.52
1440	0.26	0.10	8.61

TIME MIN.	EXF. C.F.S.	CUM-EXF+ST CUBIC FEET X 1000	STORAGE	TOTAL
0	2.49	0.00	0.65	0.65
5	2.49	0.75	0.65	1.40
10	2.49	1.49	0.65	2.14
15	2.49	2.24	0.65	2.89
20	2.49	2.98	0.65	3.63
25	2.49	3.73	0.65	4.38
30	2.49	4.47	0.65	5.12
40	2.49	5.97	0.65	6.62
50	2.49	7.46	0.65	8.11
60	2.49	8.95	0.65	9.60
90	2.49	13.42	0.65	14.07
120	2.49	17.90	0.65	18.55
150	2.49	22.37	0.65	23.02
180	2.49	26.85	0.65	27.50
240	2.49	35.80	0.65	36.45
360	2.49	53.70	0.65	54.35
480	2.49	71.60	0.65	72.25
720	2.49	107.40	0.65	108.05
1080	2.49	161.10	0.65	161.75
1440	2.49	214.80	0.65	215.45

**SUMMARY OF ACCUMULATED INFLOWS AND OUTFLOWS**

TIME MIN.	CUM-RUN	CUM-EXF--ST CUBIC FEET X 1000	OVERF.
0	0.00	0.65	-0.65
5	0.86	1.40	-0.54
10	1.56	2.14	-0.58
15	2.15	2.89	-0.73
20	2.66	3.63	-0.98
25	3.09	4.38	-1.29
30	3.47	5.12	-1.66
40	4.09	6.62	-2.53
50	4.59	8.11	-3.52
60	4.99	9.60	-4.61
90	5.84	14.07	-8.23
120	6.39	18.55	-12.16
150	6.77	23.02	-16.25
180	7.05	27.50	-20.45
240	7.44	36.45	-29.01
360	7.87	54.35	-46.48
480	8.10	72.25	-64.15
720	8.35	108.05	-99.70
1080	8.52	161.75	-153.23
1440	8.61	215.45	-206.84



**All State Engineering & Testing Consultants, Inc.**  
TESTING LABORATORIES-ENGINEERS-INSPECTION SERVICES-CHEMISTS-DRILLING-ENVIRONMENTAL SERVICES

December 12, 2022

**Elliot Haddad**  
**138 Pioneer Street**  
**Brooklyn, NY 11231**

**RE: 7-Story Condominium**  
**1130-1140 100th Street**  
**Bay Harbor Islands, FL 3315**

To whom it may concern:

This letter presents the results of All State Engineering & Testing Consultants, Inc. (ASETC) Geotechnical Engineering Study for the above referenced project. The purpose of the geotechnical engineering study was to evaluate the site subsurface conditions and provide foundation recommendations for the project.

**Project Description**

Our understanding of the site is based on our observations during our subsurface investigation. Information you provided to us indicates the project consists of the construction of a Proposed 7-Story Condominium Building..

**Test Method and Subsurface Investigation**

The borings were conducted in accordance with procedures outlined for Standard Penetration Test and split spoon sampling of soils by ASTM Method D-1586 as described below.

Two (2) feet long, two (2) inches O.D. split spoon sampler was driven into the ground by successive blows with a 140 lbs hammer dropping thirty (30) inches. The soil sampler was driven two (2) feet at a time (continuous method) then extracted for visual examination and classification of the soil samples.

The number of blows required for one (1) foot penetration of the sample is designated as "N" (known as the standard Penetration Resistance Value). The N Value provides an indication of the relative density of non-cohesive soils and the consistency of cohesive soils. A general evaluation of soils is made from the established correlation between "N" and the relative density or consistency of soils. This dynamic method of soil testing has been widely accepted by foundation engineers and architects to conservatively evaluate the bearing capacity of soils.

The subsurface investigation consisted of performing five (5), 30-ft deep Standard Penetration Test (SPT) borings (B-1, B-2, B-3, B-4, B-5). The borings were performed on December 9, 2022.







## All State Engineering & Testing Consultants, Inc.

TESTING LABORATORIES-ENGINEERS-INSPECTION SERVICES-CHEMISTS-DRILLING-ENVIRONMENTAL SERVICES  
12949 W Okeechobee Rd, Unit 4, Hialeah Gardens, FL 33018 Office: 305-888-3373 Fax: 305-888-7443 info@allstateengineering.com

### PERCOLATION TEST USUAL OPEN HOLE - CONSTANT HEAD

DATE:	December 9, 2022	Test Number:	P-1
CLIENT:	Elliot Haddad		
CLIENT ADDRESS:	138 Pioneer Street, Brooklyn, NY 11231		
PROJECT:	7-Story Condominium		
PROJECT ADDRESS:	1130-1140 100th Street, Bay Harbor Island, FL 33154		
LOCATION OF TEST:	North Side of Lot		

INTERVAL	ELAPSED TIME (MINUTES)	GPM
1	1:00	6
2	1:00	6
3	1:00	6
4	1:00	6
5	1:00	6
6	1:00	6
7	1:00	6
8	1:00	6
9	1:00	6
10	1:00	6

DEPTH OF HOLE : 15 feet DIA. OF HOLE : 0.5 feet PERC. RATE: 6.0 GPM  
DEPTH OF WATER TABLE BELOW GROUND SURFACE : 6 feet  
SATURATED HOLE DEPTH : 9 feet STABILIZED FLOW RATE: 0.013368  
k-VALUE: 1.20E-04

### SUBSURFACE INVESTIGATION

Depth Below Ground Surface	Soil Description
0'-0" to 3'-0"	Sand with Rock Particles (Backfill)
3'-0" to 8'-0"	Beach Sand with Silt and Organics
8'-0" to 15'-0"	Gray Beach Sand with Lime Sand Traces

Field Technician: TH  
Typed by: GO

Respectfully Submitted,

John Buscher, PE # 41844

All State Engineering & Testing  
Consultants, Inc.





## All State Engineering & Testing Consultants, Inc.

TESTING LABORATORIES-ENGINEERS-INSPECTION SERVICES-CHEMISTS-DRILLING-ENVIRONMENTAL SERVICES  
12949 W Okeechobee Rd. Unit 4, Hialeah Gardens, FL 33018 Office: 305-888-3373 Fax: 305-888-7443 info@allstateengineering.com

### PERCOLATION TEST USUAL OPEN HOLE - CONSTANT HEAD

DATE:	December 9, 2022	Test Number:	P-2
CLIENT:	Elliot Hadded		
CLIENT ADDRESS:	138 Pioneer Street, Brooklyn, NY 11231		
PROJECT:	Single Family Residence		
PROJECT ADDRESS:	1130-1140 100th Street, Bay Harbor Island, FL 33154		
LOCATION OF TEST:	South Side of Lot		

INTERVAL	ELAPSED TIME (MINUTES)	GPM
1	1:00	4
2	1:00	4
3	1:00	4
4	1:00	4
5	1:00	4
6	1:00	4
7	1:00	4
8	1:00	4
9	1:00	4
10	1:00	4


DEPTH OF HOLE : 15 feet DIA. OF HOLE : 0.5 feet PERC. RATE: 4.0 GPM  
DEPTH OF WATER TABLE BELOW GROUND SURFACE : 6 feet  
SATURATED HOLE DEPTH : 9 feet STABILIZED FLOW RATE: 0.008912  
k-VALUE: 8.00E-05

### SUBSURFACE INVESTIGATION

Depth Below Ground Surface	Soil Description
0'-0" to 3'-0"	Sand with Rock Particles (Backfill)
3'-0" to 8'-0"	Beach Sand with Silt and Organics
8'-0" to 15'-0"	Beach Sand with Lime Sand Traces

Field Technician: TH  
Typed by: GO

Respectfully Submitted

  
No. 41844  
12/1/22  
John Buscher P.E. # 41844  
All State Engineering & Testing  
Consultants, Inc.  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER





# **All State Engineering & Testing Consultants, Inc.**

TESTING LABORATORIES-ENGINEERS-INSPECTION SERVICES-CHEMISTS-DRILLING-ENVIRONMENTAL SERVICES  
12949 West Okeechobee Rd, Hialeah Gardens, Florida 33018 / Phone: 305-888-3373 Fax: 305-888-7443

## **Boring Location Map**

**1130-1140 100th Street, Bay Harbor Islands, FL 33154**



### **Legend**

- ⊗ Boring Location
- ◊ Percolation Location





*Most Widely Accepted and Trusted*

**ESR-2074**

Reissued 02/2021

Revised 04/2021

This report is subject to renewal 02/2023.

# ICC-ES Evaluation Report

ICC-ES | (800) 423-6587 | (562) 699-0543 | [www.icc-es.org](http://www.icc-es.org)

**DIVISION: 08 00 00—OPENINGS**

**SECTION: 08 95 43—VENTS/FOUNDATION FLOOD VENTS**

**REPORT HOLDER:**

**SMART VENT PRODUCTS, INC.**

**EVALUATION SUBJECT:**

**SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520;  
#1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514  
FLOOD VENT SEALING KIT #1540-526**



*"2014 Recipient of Prestigious Western States Seismic Policy Council  
(WSSPC) Award in Excellence"*



*ICC-ES Evaluation Reports are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the report or a recommendation for its use. There is no warranty by ICC Evaluation Service, LLC, express or implied, as to any finding or other matter in this report, or as to any product covered by the report.*



## DIVISION: 08 00 00—OPENINGS

## Section: 08 95 43—Vents/Foundation Flood Vents

### REPORT HOLDER:

SMART VENT PRODUCTS, INC.

### EVALUATION SUBJECT:

**SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514 FLOOD VENT SEALING KIT #1540-526**

## 1.0 EVALUATION SCOPE

### Compliance with the following codes:

- 2021, 2018, 2015, 2012, 2009 and 2006 *International Building Code®* (IBC)
- 2021, 2018, 2015, 2012, 2009 and 2006 *International Residential Code®* (IRC)
- 2021, 2018 *International Energy Conservation Code®* (IECC)
- 2013 *Abu Dhabi International Building Code* (ADIBC)<sup>†</sup>

<sup>†</sup>The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

### Properties evaluated:

- Physical operation
- Water flow

## 2.0 USES

The Smart Vent® units are engineered mechanically operated flood vents (FVs) employed to equalize hydrostatic pressure on walls of enclosures subject to rising or falling flood waters. Certain models also allow natural ventilation.

## 3.0 DESCRIPTION

### 3.1 General:

When subjected to rising water, the Smart Vent® FVs internal floats are activated, then pivot open to allow flow in either direction to equalize water level and hydrostatic pressure from one side of the foundation to the other. The FV pivoting door is normally held in the closed position by a buoyant release device. When subjected to rising water, the buoyant release device causes the unit to unlatch, allowing the door to rotate out of the way and allow flow. The water level stabilizes, equalizing the lateral forces. Each unit is

fabricated from stainless steel. Smart Vent® Automatic Foundation Flood Vents are available in various models and sizes as described in Table 1. The SmartVENT® Stacking Model #1540-511 and FloodVENT® Stacking Model #1540-521 units each contain two vertically arranged openings per unit.

### 3.2 Engineered Opening:

The FVs comply with the design principle noted in Section 2.7.2.2 and Section 2.7.3 of ASCE/SEI 24-14 [Section 2.6.2.2 of ASCE/SEI 24-05 (2012, 2009, 2006 IBC and IRC)] for a maximum rate of rise and fall of 5.0 feet per hour (0.423 mm/s). In order to comply with the engineered opening requirement of ASCE/SEI 24, Smart Vent FVs must be installed in accordance with Section 4.0.

### 3.3 Ventilation:

The SmartVENT® Model #1540-510 and SmartVENT® Overhead Door Model #1540-514 both have screen covers with 1/4-inch-by-1/4-inch (6.35 by 6.35 mm) openings, yielding 51 square inches (32 903 mm<sup>2</sup>) of net free area to supply natural ventilation. The SmartVENT® Stacking Model #1540-511 consists of two Model #1540-510 units in one assembly, and provides 102 square inches (65 806 mm<sup>2</sup>) of net free area to supply natural ventilation. Other FVs described in this report do not offer natural ventilation.

### 3.4 Flood Vent Sealing Kit:

The Flood Vent Sealing Kit Model #1540-526 is used with SmartVENT® Model #1540-520. It is a Homasote 440 Sound Barrier® (ESR-1374) insert with 21 – 2-inch-by-2-inch (51 mm x 51 mm) squares cut in it. See Figure 4.

## 4.0 DESIGN AND INSTALLATION

### 4.1 SmartVENT® and FloodVENT®:

SmartVENT® and FloodVENT® are designed to be installed into walls or overhead doors of existing or new construction from the exterior side. Installation of the vents must be in accordance with the manufacturer's instructions, the applicable code and this report. Installation clips allow mounting in masonry and concrete walls of any thickness. In order to comply with the engineered opening design principle noted in Section 2.7.2.2 and 2.7.3 of ASCE/SEI 24-14 [Section 2.6.2.2 of ASCE/SEI 24-05 (2012, 2009, 2006 IBC and IRC)], the Smart Vent® FVs must be installed as follows:

- With a minimum of two openings on different sides of each enclosed area.



- With a minimum of one FV for every 200 square feet (18.6 m<sup>2</sup>) of enclosed area, except that the SmartVENT® Stacking Model #1540-511 and FloodVENT® Stacking Model #1540-521 must be installed with a minimum of one FV for every 400 square feet (37.2 m<sup>2</sup>) of enclosed area.
- Below the base flood elevation.
- With the bottom of the FV located a maximum of 12 inches (305.4 mm) above the higher of the final grade or floor and finished exterior grade immediately under each opening.

#### 4.2 Flood Vent Sealing Kit

The Flood Vent Sealing Kit Model 1540-526 is used in conjunction with FloodVENT® Model #1540-520. When installed and tested in accordance with ASTM E283, the FV and Flood Vent Sealing Kit assembly have an air leakage rate of less than 0.2 cubic feet per minute per lineal foot (18.56 l/min per lineal meter) at a pressure differential of 1 pound per square foot (50 Pa) based on 12.58 lineal feet (3.8 lineal meters) contained by the Flood Vent Sealing Kit.

#### 5.0 CONDITIONS OF USE

The Smart Vent® FVs described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1 The Smart Vent® FVs must be installed in accordance with this report, the applicable code and the manufacturer's installation instructions. In the event of a conflict, the instructions in this report govern.

- 5.2 The Smart Vent® FVs must not be used in the place of "breakaway walls" in coastal high hazard areas, but are permitted for use in conjunction with breakaway walls in other areas.

#### 6.0 EVIDENCE SUBMITTED

- 6.1 Data in accordance with the ICC-ES Acceptance Criteria for Mechanically Operated Flood Vents (AC364), dated August 2015 (editorially revised February 2021).
- 6.2 Test report on air infiltration in accordance with ASTM E283.

#### 7.0 IDENTIFICATION

- 7.1 The Smart VENT® models and the Flood Vent Sealing Kit described in this report must be identified by a label bearing the manufacturer's name (Smartvent Products, Inc.), the model number, and the evaluation report number (ESR-2074).
- 7.2 The report holder's contact information is the following:

**SMART VENT PRODUCTS, INC.**  
**430 ANDBRO DRIVE, UNIT 1**  
**PITMAN, NEW JERSEY 08071**  
**(877) 441-8368**  
[www.smartvent.com](http://www.smartvent.com)  
[info@smartvent.com](mailto:info@smartvent.com)

TABLE 1—MODEL SIZES

MODEL NAME	MODEL NUMBER	MODEL SIZE (in.)	COVERAGE (sq. ft.)
FloodVENT®	1540-520	15 <sup>3</sup> / <sub>4</sub> " X 7 <sup>3</sup> / <sub>4</sub> "	200
SmartVENT®	1540-510	15 <sup>3</sup> / <sub>4</sub> " X 7 <sup>3</sup> / <sub>4</sub> "	200
FloodVENT® Overhead Door	1540-524	15 <sup>3</sup> / <sub>4</sub> " X 7 <sup>3</sup> / <sub>4</sub> "	200
SmartVENT® Overhead Door	1540-514	15 <sup>3</sup> / <sub>4</sub> " X 7 <sup>3</sup> / <sub>4</sub> "	200
Wood Wall FloodVENT®	1540-570	14" X 8 <sup>3</sup> / <sub>4</sub> "	200
Wood Wall FloodVENT® Overhead Door	1540-574	14" X 8 <sup>3</sup> / <sub>4</sub> "	200
SmartVENT® Stacker	1540-511	16" X 16"	400
FloodVent® Stacker	1540-521	16" X 16"	400

For SI: 1 inch = 25.4 mm; 1 square foot = m<sup>2</sup>

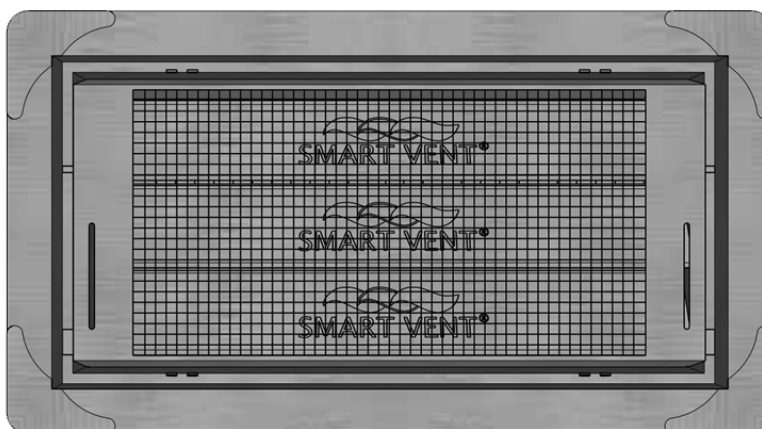


FIGURE 1—SMART VENT: MODEL 1540-510

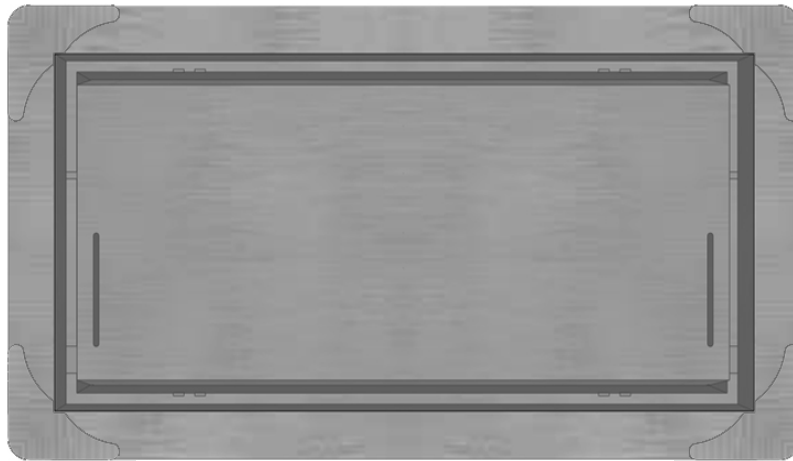


FIGURE 2—SMART VENT MODEL 1540-520



FIGURE 3—SMART VENT: SHOWN WITH FLOOD DOOR PIVOTED OPEN

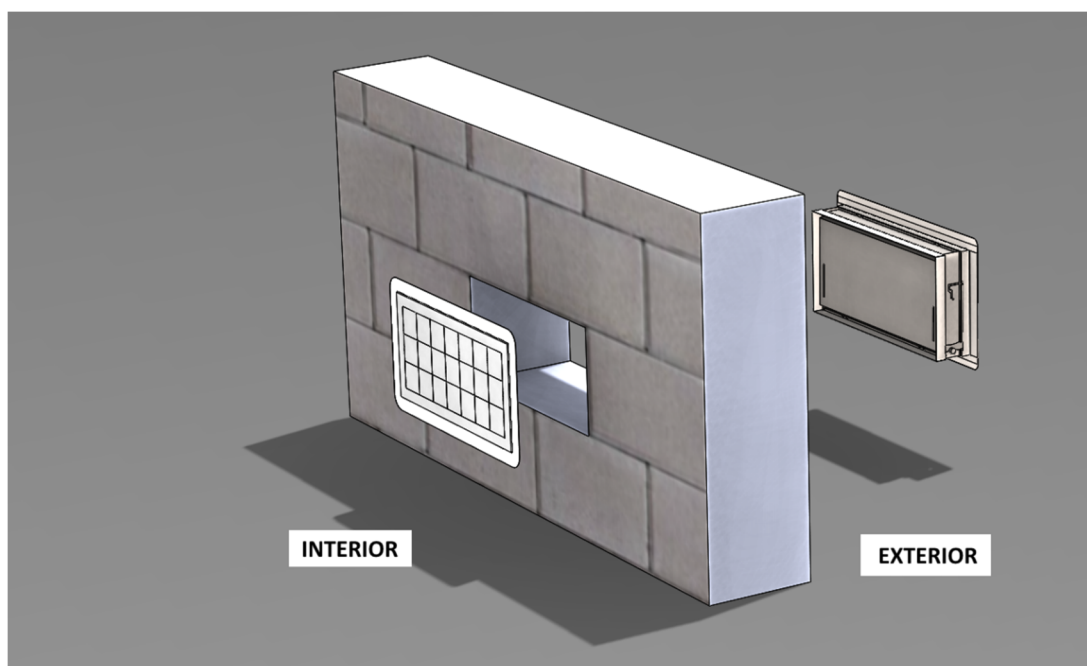


FIGURE 4—FLOOD VENT SEALING KIT

# ICC-ES Evaluation Report

# ESR-2074 CBC and CRC Supplement

Reissued February 2021

Revised April 2021

This report is subject to renewal February 2023.

[www.icc-es.org](http://www.icc-es.org) | (800) 423-6587 | (562) 699-0543

A Subsidiary of the International Code Council®

**DIVISION: 08 00 00—OPENINGS**

**Section: 08 95 43—Vents/Foundation Flood Vents**

## REPORT HOLDER:

**SMART VENT PRODUCTS, INC.**

## EVALUATION SUBJECT:

**SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514  
FLOOD VENT SEALING KIT #1540-526**

## 1.0 REPORT PURPOSE AND SCOPE

### Purpose:

The purpose of this evaluation report supplement is to indicate that Smart Vent® Automatic Foundation Flood Vents, described in ICC-ES evaluation report ESR-2074, have also been evaluated for compliance with codes noted below.

### Applicable code editions:

#### ■ 2019 California Building Code (CBC)

For evaluation of applicable chapters adopted by the California Office of Statewide Health Planning and Development (OSHPD) and Division of State Architect (DSA), see Sections 2.1.1 and 2.1.2 below.

#### ■ 2019 California Residential Code (CRC)

## 2.0 CONCLUSIONS

### 2.1 CBC:

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the evaluation report ESR-2074, comply with 2019 CBC Chapter 12, provided the design and installation are in accordance with the 2018 *International Building Code*® (IBC) provisions noted in the evaluation report and the additional requirements of CBC Chapters 12 and 16, as applicable.

#### 2.1.1 OSHPD:

The applicable OSHPD Sections and Chapters of the CBC are beyond the scope of this supplement.

#### 2.1.2 DSA:

The applicable DSA Sections and Chapters of the CBC are beyond the scope of this supplement.

### 2.2 CRC:

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the evaluation report ESR-2074, comply with the 2019 CRC, provided the design and installation are in accordance with the 2018 *International Residential Code*® (IRC) provisions noted in the evaluation report.

This supplement expires concurrently with the evaluation report, reissued February 2021 and revised April 2021.

# ICC-ES Evaluation Report

# ESR-2074 FBC Supplement

Reissued February 2021

Revised April 2021

This report is subject to renewal February 2023.

[www.icc-es.org](http://www.icc-es.org) | (800) 423-6587 | (562) 699-0543

A Subsidiary of the International Code Council®

**DIVISION: 08 00 00—OPENINGS**

**Section: 08 95 43—Vents/Foundation Flood Vents**

## REPORT HOLDER:

**SMART VENT PRODUCTS, INC.**

## EVALUATION SUBJECT:

**SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514  
FLOOD VENT SEALING KIT #1540-526**

## 1.0 REPORT PURPOSE AND SCOPE

### Purpose:

The purpose of this evaluation report supplement is to indicate that Smart Vent® Automatic Foundation Flood Vents, described in ICC-ES evaluation report ESR-2074, have also been evaluated for compliance with the codes noted below.

### Applicable code editions:

- 2020 *Florida Building Code—Building*
- 2020 *Florida Building Code—Residential*

## 2.0 CONCLUSIONS

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the evaluation report ESR-2074, comply with the *Florida Building Code—Building* and the *Florida Building Code-Residential*, provided the design requirements are determined in accordance with the *Florida Building Code-Building* or the *Florida Building Code-Residential*, as applicable. The installation requirements noted in ICC-ES evaluation report ESR-2074 for 2018 *International Building Code*® meet the requirements of the *Florida Building Code-Building* or the *Florida Building Code-Residential*, as applicable.

Use of the Smart Vent® Automatic Foundation Flood Vents has also been found to be in compliance with the High-Velocity Hurricane Zone provisions of the *Florida Building Code—Building* and the *Florida Building Code—Residential*.

For products falling under Florida Rule 61G20-3, verification that the report holder's quality assurance program is audited by a quality assurance entity approved by the Florida Building Commission for the type of inspections being conducted is the responsibility of an approved validation entity (or the code official when the report holder does not possess an approval by the Commission).

This supplement expires concurrently with the evaluation report, reissued February 2021 and revised April 2021.

## Erin Santiago

Arborist FL-5705A | LIAF Inspector #2018-0214  
The Santiago Group LLC [thesantiagogroupllc@gmail.com](mailto:thesantiagogroupllc@gmail.com)  
(954) 947-1087



December 13, 2022

### ISA Certified Arborist Report

The following is an arborist report for 1130 and 1140 100<sup>th</sup> Street in Bay Harbor Islands, Florida. The purpose of this report is to inventory and evaluate the condition of the trees. This report is not a risk assessment on a Level 2 or 3 as described by the Levels and Scope of Tree Risk Assessment from the ANSI A300 Part 9: Tree, shrub, and Other Woody Plant Management – Standard Practices. The Santiago Group LLC cannot be held liable for damage to the tree or damage caused by the tree.

### Methods:

The on-site visual inspection at ground level was made on December 6, 2022, to observe the trees. The size of each tree was measured as diameter at breast height (DBH), breast height being 4.5 feet above ground utilizing diameter measure tape. Tree heights and canopy diameters were estimated in feet. Some DBH measurements were estimated when access to the tree could not be obtained. This report describes all the trees within the requested area as well as some trees in the nearby vicinity. Proposed actions are not addressed in this report. The condition rating of each tree is described as Good, Moderate, or Poor. Please refer to ANSI A300 (Part 5)-2012: Management - Annex A-2 for an explanation of non-numeric condition ratings used herein. The TPZs for trees specified in this report were calculated utilizing the ANSI formula and are sufficient to maintain Critical Root Zones (CRZs) as well as the TPZs. TPZs for palms are the arborist's opinion not utilizing the ANSI Formula.

### Appendixes:

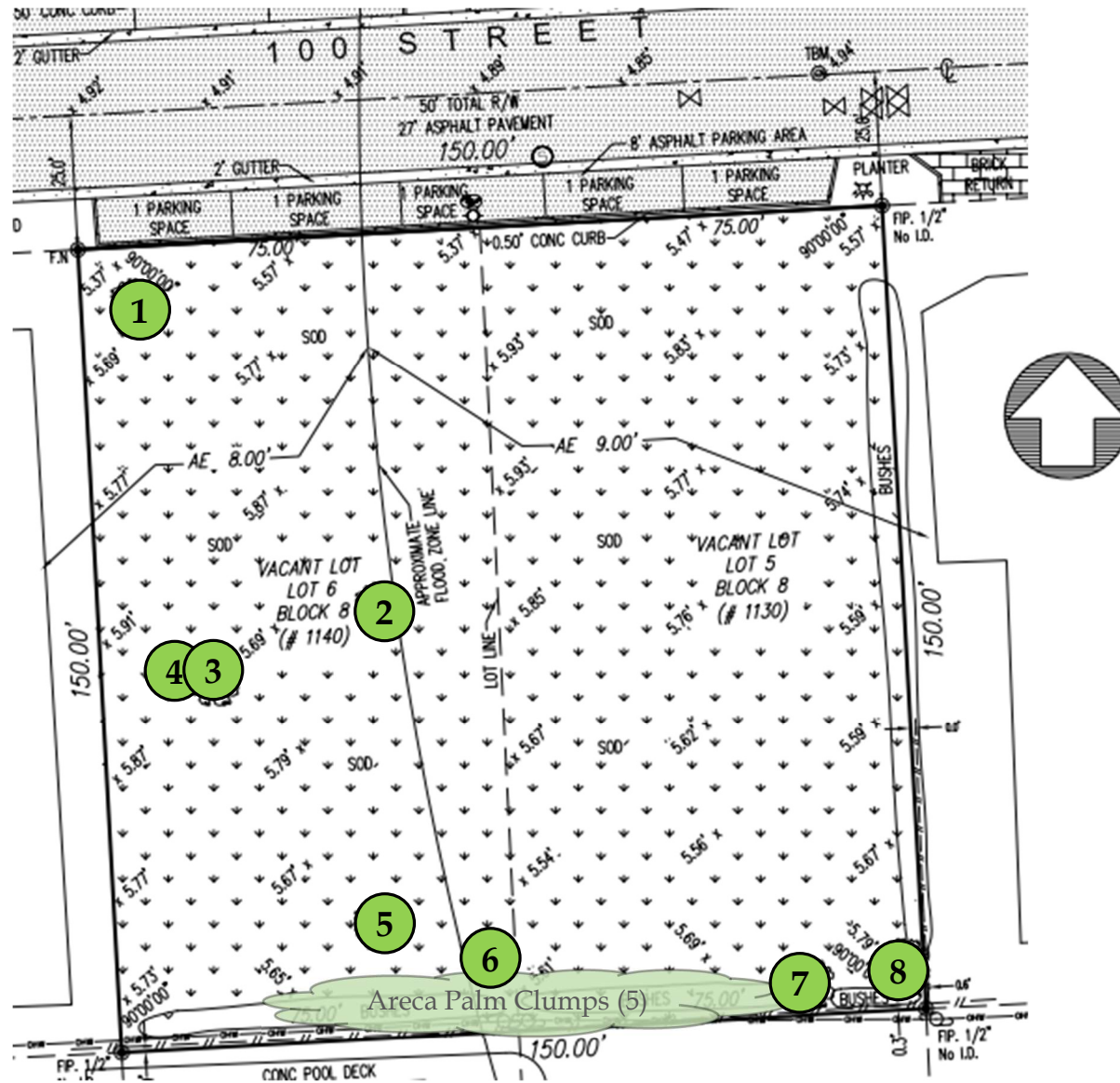
Please see Appendix A for Tree Locations, Appendix B for Tree Inventory and Condition Assessment, Appendix C for Photographs and Appendix D for Tree Protection Specifications.

Respectfully submitted,

Erin Santiago, ISA Certified Arborist FL-5705A | LIAF Inspector #2018-0214



## Appendix A: Tree Locations



Note: Tree locations approximate • Not to Scale

## Appendix B: Tree Inventory and Condition Assessment

Tree #	Common Name	Botanical Name	DBH (inches)	Height (feet)	Canopy Diameter (feet)	TPZ Factor	TPZ Radius (feet)	Condition	Notes
1	Melaleuca	<i>Melaleuca quinquenervia</i>	85	33	45	10	71	Moderate	Class 1 invasive. Recommend removal. Multistem codominant. Strangler fig volunteer is growing from the center which will further impact structure.
2	Strangler Fig	<i>Ficus aurea</i>	72	34	50	10	60	Moderate	Good canopy balance but voids created by live melaleuca foliage. Live melaleuca within its structure and has been the scaffold. Insect impact to foliage. Many damaged areas in the melaleuca should be managed. Not an ideal candidate for relocation because of the melaleuca.
3	Strangler Fig	<i>Ficus aurea</i>	30	35	35	10	25	Moderate	Not an ideal candidate for relocation due to tree 4 being live scaffold. Both trees are alive and representing approximately 50% of the structure. Insect impact to foliage.
4	Melaleuca	<i>Melaleuca quinquenervia</i>	30	35	35	10	25	Poor	Class 1 invasive. Recommend removal. Likely in decline.
5	Mango Tree	<i>Mangifera indica</i>	27	18	26	10	23	Moderate	Multistem codominant with mediocre wound response.
6	Brazilian Pepper	<i>Schinus terebinthifolia</i>	15	20	18	10	13	Poor	Class 1 invasive. Recommend removal. Poor structure.
7	Strangler Fig	<i>Ficus aurea</i>	5	22	10	10	4	Poor	Structure impacted by competition. Canopy distributed to the north.
8	Carrotwood	<i>Cupaniopsis anacardiodes</i>	10	24	18	10	8	Poor	Class 1 invasive. Recommend removal. Major trunk wound with decay.



Appendix C: Photographs







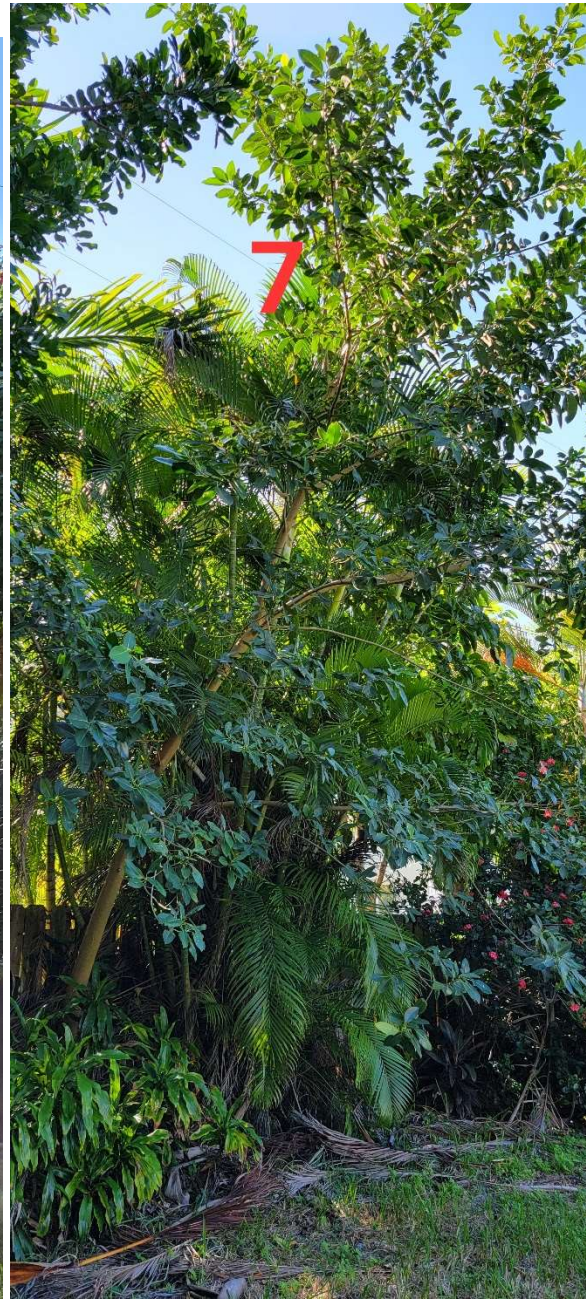




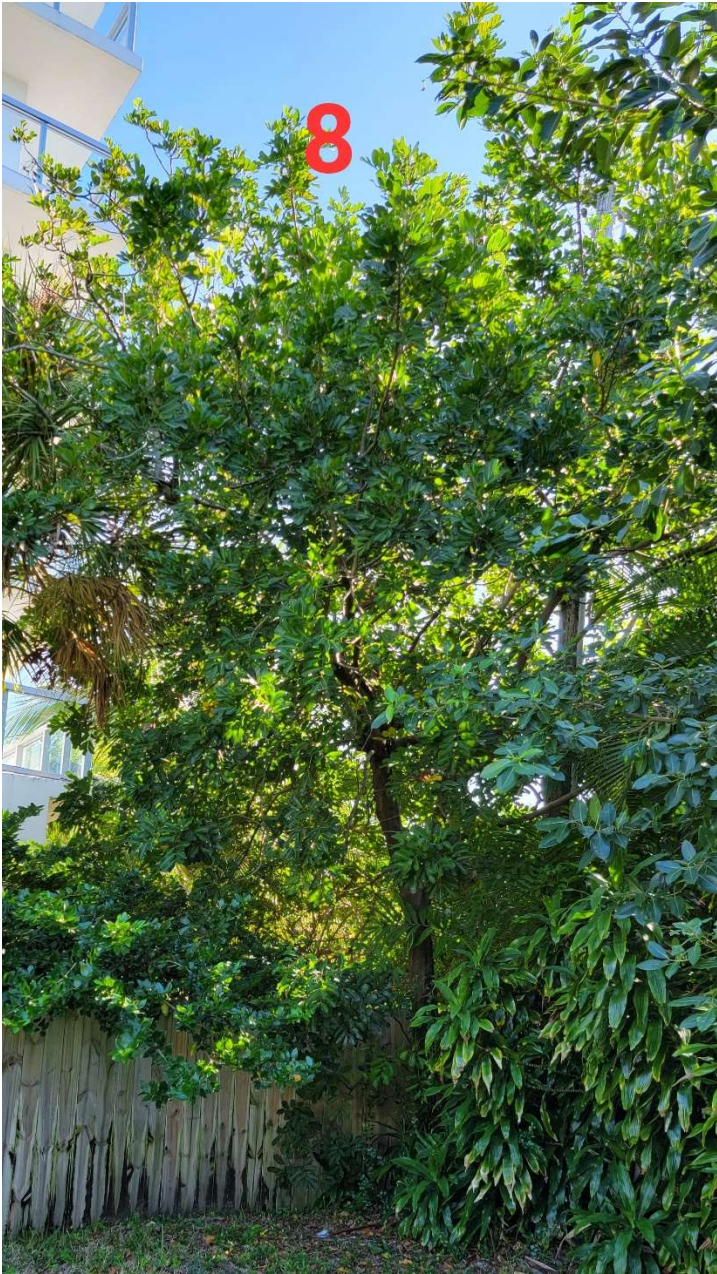














## Appendix D: Tree Protection Detail

A. In instances where the recommended Tree Protection Zone extends over existing hardscape such as sidewalk or driveway, it may not be possible to fence the extent of the TPZ and an arborist's opinion of the extent of fencing should be sought.

B. There may be instances where site features are proposed to be installed within the TPZ. In instances where work must be performed within the TPZ, work shall be performed under supervision of the arborist or a landscape architect and determined to be safe for the tree due to position of structural roots and ensuring likelihood of proper availability of water and gas exchange. These features will be field located at time of installation to accommodate structural roots.

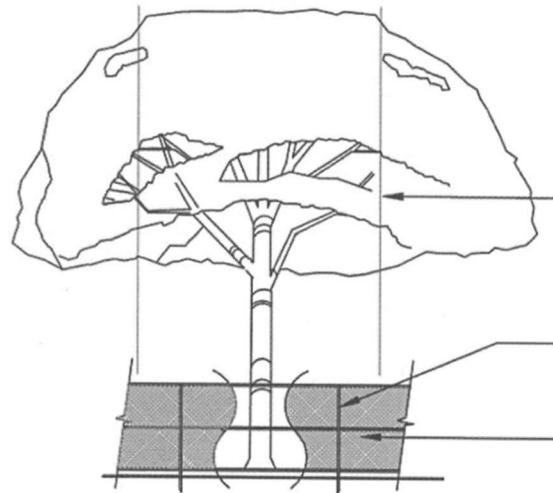
C. Recommended footage from base of trunk mentioned in matrices is an estimate only. Arborist should be consulted for direction on root pruning or protection zone changes if excavation reveals significant roots during the course of the project.

D. TPZ is sufficient to account for CRZ.

E. TPZ is a radius in feet measured from the root flare outward.

TREE / PALM PROTECTION FENCES SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING FOR ALL TREES / PALMS THAT ARE 'TO REMAIN, BE PROTECTED, or BE RELOCATED'

NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN THE FENCED AREAS, INCLUDING VEHICLE USE, STORAGE OF MATERIALS, DUMPING OF LIQUIDS OR MATERIALS, GRADE CHANGES, GRUBBING, AND MECHANICAL TRENCHING FOR IRRIGATION, ELECTRICAL, LIGHTING, ETC.



In no case shall the fence be installed less than ten feet from the trunk

Tree + Palm protection barriers to extend beyond the 'dripline' or to the 'critical root zone area' of all trees/palms to be protected. Extend where necessary to protect tree canopy roots

Barriers shall be a minimum of four feet high, and shall be constructed of continuous chain link fence with metal posts at eight-foot spacing, or of two-by-four-inch posts with three equally spaced two-by-four-inch rails. Posts may be shifted to avoid roots.

### PROTECTION DETAIL NOTE

CONTRACTOR TO INSTALL 'TREE / PALM PROTECTION FENCE BARRIERS' AROUND ALL EXISTING TREES OR PALMS AT THE START OF THE PROJECT. BARRIERS TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT AND SHOULD NOT BE REMOVED OR DROPPED FOR ANY REASON WITHOUT AUTHORIZATION FROM THE CITY OF MIAMI BEACH URBAN FORESTER + PLANNING + ZONING DEPARTMENT

## **C.M.B. TREE / PALM PROTEC. DETAIL**





BHI 1130-1140 100TH ST  
SITE PLAN REVIEW SUBMISSION  
DEC 29, 2022

1130-1140 100TH STREET,  
BAY HARBOR ISLANDS, FL 33154

DRAWING LIST

ARCHITECTURAL	
T-01	COVER SHEET
A-01	EXTERIOR RENDERING
A-02	EXTERIOR RENDERING
A-03	EXTERIOR RENDERING
A-04	AERIAL RENDERING
A-05	SITE AND CONTEXT PHOTOGRAPHS
A-06	SITE PLAN AND ZONING INFOMRATION
A-11	FLOOR PLAN - 1ST FLOOR
A-12	FLOOR PLAN - 2ND FLOOR
A-13	FLOOR PLAN - 3RD FLOOR
A-14	FLOOR PLAN - 4TH FLOOR
A-15	FLOOR PLAN - 5TH FLOOR
A-16	FLOOR PLAN - 6TH FLOOR
A-17	FLOOR PLAN - 7TH FLOOR
A-18	FLOOR PLAN - ROOF FLOOR
A-21	EXTERIOR ELEVATION - NORTH
A-22	EXTERIOR ELEVATION - SOUTH
A-23	EXTERIOR ELEVATION - EAST
A-24	EXTERIOR ELEVATION - WEST
A-31	COLOR EXTERIOR ELEVATION - NORTH
A-32	COLOR EXTERIOR ELEVATION - SOUTH
A-33	COLOR EXTERIOR ELEVATION - EAST
A-34	COLOR EXTERIOR ELEVATION - WEST
A-41	BUILDING SECTION
CIVL	
PD-1	COVER SHEET
PD-2	PAVING, GRADING, DRAINAGE PLANS&TYPICAL SECTIONS
PD-3	DRAINAGE&PAVEMENT DETAILS
WS-1	COVER SHEET
WS-2	WATER&SEWER PLAN&DETAILS
WS-3	WATER&SEWER DETAILS
LANDSCAPE	
L-02	1ST & 2ND FLOOR PLANTING PLAN
L-03	5TH FLOOR & ROOF PLANTING PLAN
L-04	PLANTING PALETTE
PHOTOMETIC STUDIES	
PS-01	1ST FLOOR PHOTOMETRIC, Normal Power
PS-02	1ST FLOOR PHOTOMETRIC, Emergency Power
PS-03	2ND FLOOR PHOTOMETIC, Normal Power
PS-04	2ND FLOOR PHOTOMETIC, Emergency Power
PS-05	5TH FLOOR PHOTOMETRIC, Normal Power
PS-06	5TH FLOOR PHOTOMETRIC, Emergency Power
PS-07	ROOF PHOTOMETRIC, Normal Power
PS-08	ROOF PHOTOMETRIC, Emergency Power

BHI 1130-1140 100TH ST  
1130-1140 100TH STREET,  
BAY HARBOR ISLANDS, FL 33154

**DEVELOPER:**  
REDNOX + PARTNERS  
138 PIONEER STREET  
BROOKLYN, NY 11231  
T: 718.852.8162

**DESIGNER:**  
FAB 314 ARCHITECTURE WORKSHOP  
HAYES00 STREET 2 #121  
TEL AVIV-YAFO, 6816721, IL  
T: 972-50-888-2629

**DESIGNER:**  
PLISKIN ARCHITECTURE PLLC  
233 BROADWAY, SUITE 2030  
NEW YORK, NY 10279  
T: 212-999-9885

**ARCHITECT:**  
CARL LEVIN ARCHITECTURE + DESIGN  
3390 MARY STREET, SUITE 135  
COCONUT GROVE, FL 33133  
T: 305 442 3118

**CIVIL:**  
NGA ENGINEERS INC.  
11231 SW 88TH ST., UNIT D-114  
MIAMI, FL 33176  
T: 305 200 6701

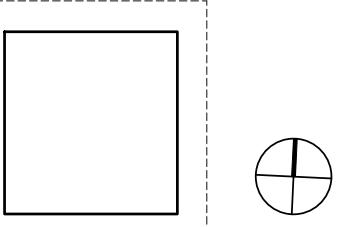
**LANDSCAPE:**  
STRATA LANDSCAPE ARCHITECTURE  
1906 TIGERTAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

**LIGHTING:**  
POWER & LIGHTING SYSTEMS, INC.  
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MIAMI, FL 33146  
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DOB APPROVAL SCAN

KEY PLAN



PRINTING DATE  
.01 ISSUE FOR SITE PLAN REVIEW 12.29.2022

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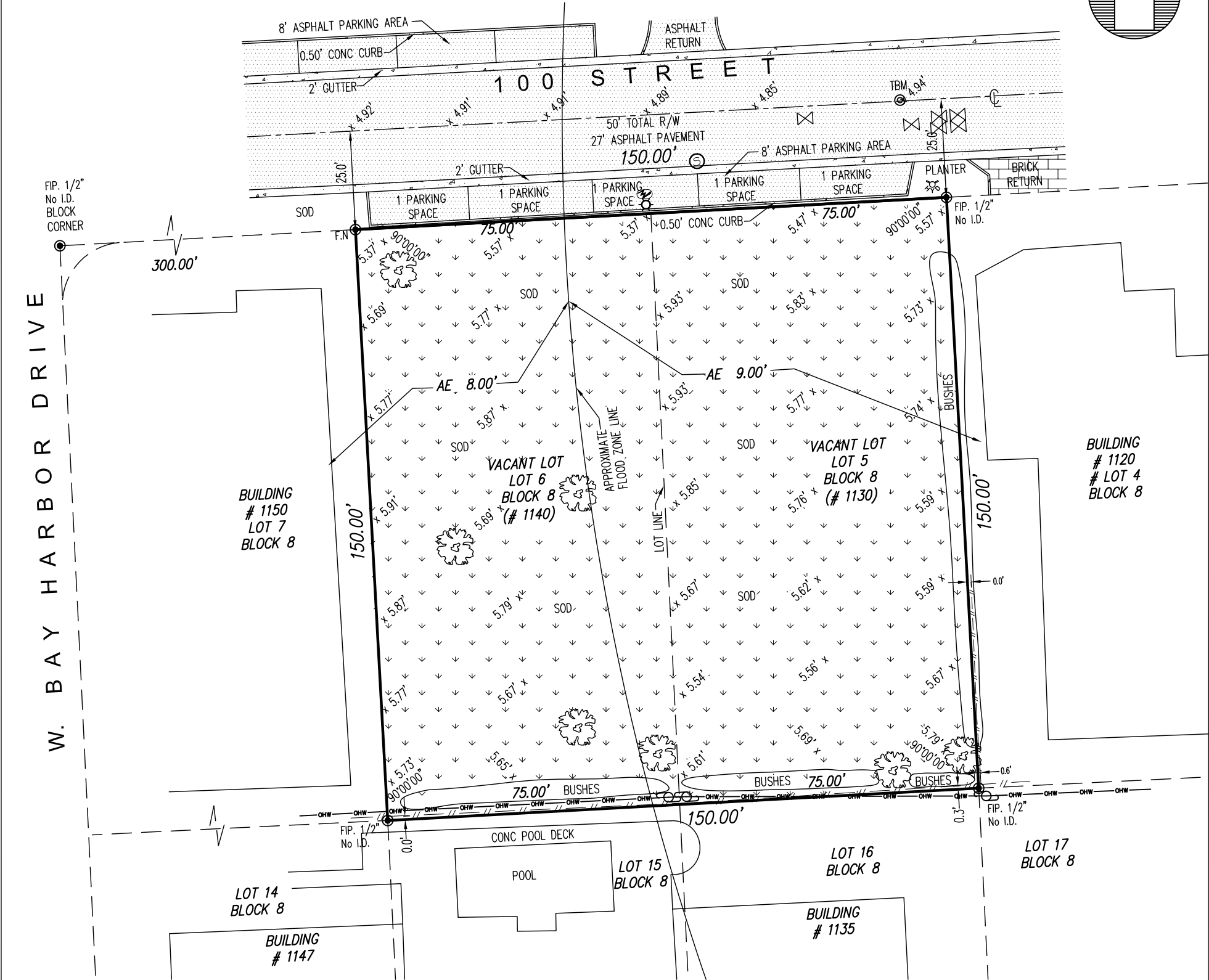
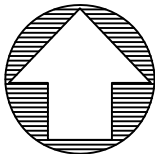
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TITLE  
COVER SHEET

DRAWING NO.  
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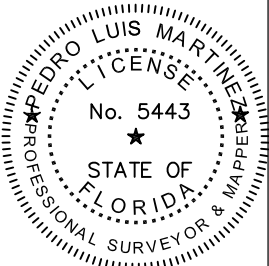


BOUNDARY SURVEY



TREE TABLE

Tree #	Common Name	Botanical Name	DBH (inches)	Height (feet)	Canopy Diameter (feet)	TPZ Radius (feet)	Condition
1	Melaleuca	Melaleuca quinquenervia	85	33	45	71	Moderate
2	Strangler Fig	Ficus aurea	72	34	50	60	Moderate
3	Strangler Fig	Ficus aurea	30	35	35	25	Moderate
4	Melaleuca	Melaleuca quinquenervia	30	35	35	25	Poor
5	Mango Tree	Mangifera indica	27	18	26	23	Moderate
6	Brazilian Pepper	Schinus terebinthifolia	15	20	18	13	Poor
7	Strangler Fig	Ficus aurea	5	22	10	4	Poor
8	Carrotwood	Cupaniopsis anacardiodes	10	24	18	8	Poor



ABBREVIATIONS AND LEGEND:	
AC	=DENOTES AIR CONDITIONING UNIT
B.C.	=DENOTES BLOCK CORNER
B.M.	=DENOTES BENCH MARK
C.B.S.	=DENOTES CONCRETE BLOCK STUCCO
C & G	=DENOTES CURVE & GUTTER
V.G.	=DENOTES VALLEY GUTTER
C.L.	=DENOTES CENTERLINE
M	=DENOTES MONUMENT LINE
F.F.E.	=DENOTES FINISH FLOOR ELEVATION
F. 1/2"IP	=DENOTES FOUND IRON PIPE NOT IDENTIFIED
NO ID	=DENOTES ELECTRIC METER
E.M.	=DENOTES DRILL HOLE
D.H.	=DENOTES MEASURE
(M)	=DENOTES RECORD
(R)	=DENOTES RIGHT-OF-WAY
R/W	=DENOTES UTILITY EASEMENT
U.E.	=DENOTES PLAT BOOK
P.B.	=DENOTES PAGE
PG.	=DENOTES PERMANENT CONTROL POINT
P.C.P.	=DENOTES TREE
x 9.00'	=DENOTES CONCRETE LIGHT POLE
	=DENOTES ELECTRIC BOX
	=DENOTES EXISTING ELEVATION
	=DENOTES CATCH BASIN
	=DENOTES WATER METER
	=DENOTES WATER VALVE
	=DENOTES FIRE HYDRANT
---	=DENOTES WOOD FENCE
-x-x-	=DENOTES CHAIN LINK FENCE
-o-o-	=DENOTES METAL FENCE
-o-o-	=DENOTES OVERHEAD LINE
	=DENOTES FOUND IRON PIPE (NO ID.)
	=DENOTES FOUND NAIL AND DISC
	=DENOTES WOOD POWER POLE
	=DENOTES MANHOLE SANITARY
	=DENOTES ASPHALT
	=DENOTES BRICK
	=DENOTES CONCRETE PAD
	=DENOTES TILE

GENERAL NOTES:

THIS SURVEY IS NOT TO BE USED FOR DESIGN OR CONSTRUCTION PURPOSES. EXAMINATION OF THE ABSTRACT OF THE TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECT THIS PROPERTY. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENT OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED. ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED. WALL TIES ARE THE FACE OF THE WALL. FENCE OWNERSHIP NOT DETERMINED. BEARINGS REFERENCED TO LINE NOTED AS B.R. BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD. COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE. NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED. NOT VALID UNLESS SEALED WITH THE SIGNINGS SURVEYORS EMBOSSED SEAL. DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN. ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. 29 UNLESS OTHERWISE NOTED. THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED. THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

BOUNDARY SURVEY		
DATE	DRAWN BY	SCALE
09-09-2022	I.C.	1"=30'
REVISION / UPDATE OF SURVEY		
DATE	DESCRIPTION	
11/16/2022	ADD TREE & ELEVATIONS	



ALPHA C&N LAND SERVICES, LLC  
BUSINESS LICENSE LB# 8426  
5801 N.W. 2ND STREET, MIAMI, FL 33126  
PH: (305) 588-6779 (305) 336-1123  
ALPHACNLANDSERVICES@GMAIL.COM

PROPERTY ADDRESS:

1130-1140 100th STREET, BAY HARBOR ISLANDS, FLORIDA, 33154

LEGAL DESCRIPTION:

LOT 5 AND LOT 6, BLOCK 8, OF " BAY HARBOR ISLAND " ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, AT PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFIED TO:

- LEE COHEN

JOB NUMBER: 220905

FIELD DATE OF SURVEY	09-09-2022	FLOOD ZONE:	COMMUNITY:	PANEL:
		AE	120637	0144
BENCH MARK:	R-243	ELEVATION:	DATE OF FIRM:	SUFFIX:
ELEVATION:	6.61'	8.0' 9.0'	09-11-2009	L

SIGNED FOR THE FIRM  
PEDRO LUIS MARTINEZ, LS No. 5443-STATE OF FLORIDA NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.



BHI 1130-1140 100TH ST  
1130-1140 100TH STREET,  
BAY HARBOR ISLANDS, FL 33154

DEVELOPER:  
REDINDEX + PARTNERS  
138 PIONEER STREET  
BROOKLYN, NY 11231  
T: 718.852.8162

DESIGNER:  
FAB 314 ARCHITECTURE WORKSHOP  
HAYES00 STREET 2 #121  
TEL AVIV-YAFO, 6816721, IL  
T: 972-50-888-2629

DESIGNER:  
PLISKIN ARCHITECTURE PLLC  
233 BROADWAY, SUITE 2030  
NEW YORK, NY 10279  
T: 212-999-9885

ARCHITECT:  
CARL LEVIN ARCHITECTURE + DESIGN  
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COCONUT GROVE, FL 33133  
T: 305 442 3118

CIVIL:  
NGA ENGINEERS INC.  
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MIAMI, FL 33176  
T: 305 200 6701

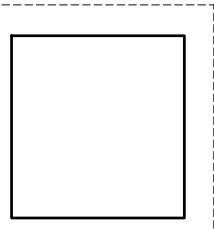
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STRATA LANDSCAPE ARCHITECTURE  
1906 TIGERTAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

LIGHTING:  
POWER & LIGHTING SYSTEMS, INC.  
3832 SHIPPING AVE.  
MIAMI, FL 33146  
T: 305 444 8520

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DOB APPROVAL SCAN

KEY PLAN



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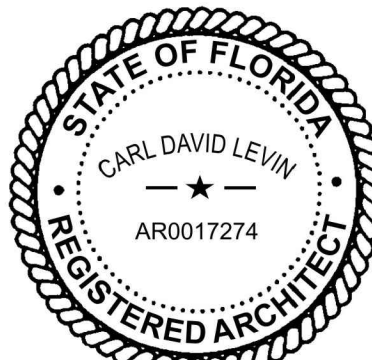
01 ISSUE FOR SITE PLAN REVIEW

DATE

12.29.2022

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PROJECT NUMBER  
2218

TITLE  
EXTERIOR RENDERING

DRAWING NO.

A-01



1 EXTERIOR RENDERING



BHI 1130-1140 100TH ST  
1130-1140 100TH STREET,  
BAY HARBOR ISLANDS, FL 33154

DEVELOPER:  
REDNOX + PARTNERS  
138 PIONEER STREET  
BROOKLYN, NY 11231  
T: 718.852.8162

DESIGNER:  
FAB 314 ARCHITECTURE WORKSHOP  
HAYES00 STREET 2 #121  
TEL AVIV-YAFO, 6816721, IL  
T: 972-50-888-2629

DESIGNER:  
PLISKIN ARCHITECTURE PLLC  
233 BROADWAY, SUITE 2030  
NEW YORK, NY 10279  
T: 212-999-9885

ARCHITECT:  
CARL LEVIN ARCHITECTURE + DESIGN  
3330 MARY STREET, SUITE 135  
COCONUT GROVE, FL 33133  
T: 305 442 3118

CIVIL:  
NGA ENGINEERS INC.  
11231 SW 88TH ST., UNIT D-114  
MIAMI, FL 33176  
T: 305 200 6701

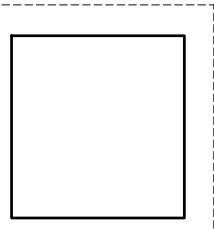
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STRATA LANDSCAPE ARCHITECTURE  
1906 TIGERTAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

LIGHTING:  
POWER & LIGHTING SYSTEMS, INC.  
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T: 305 444 8520

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DOB APPROVAL SCAN

KEY PLAN



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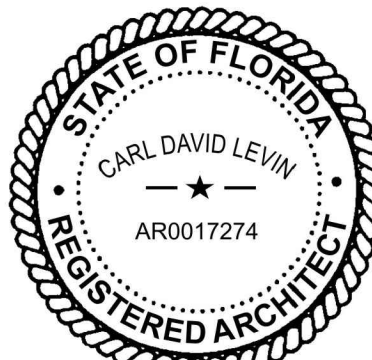
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EXTERIOR RENDERING

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A-02



1 EXTERIOR RENDERING



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1130-1140 100TH STREET,  
BAY HARBOR ISLANDS, FL 33154

DEVELOPER:  
REDNOX + PARTNERS  
138 PIONEER STREET  
BROOKLYN, NY 11231  
T: 718.852.8162

DESIGNER:  
FAB 314 ARCHITECTURE WORKSHOP  
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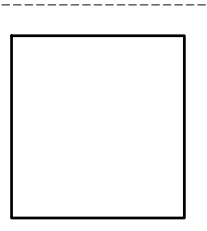
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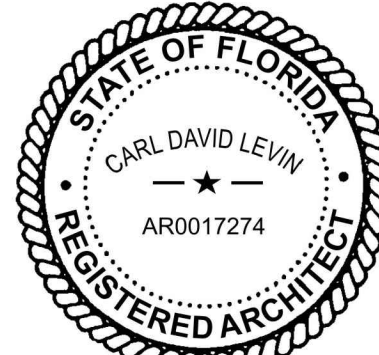
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1 EXTERIOR RENDERING



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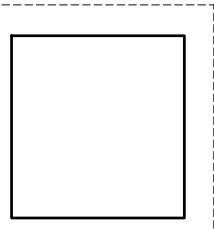
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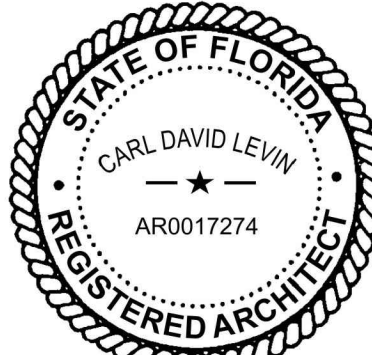
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AERIAL RENDERING

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1130-1140 100TH STREET BAY HARBOR ISLANDS

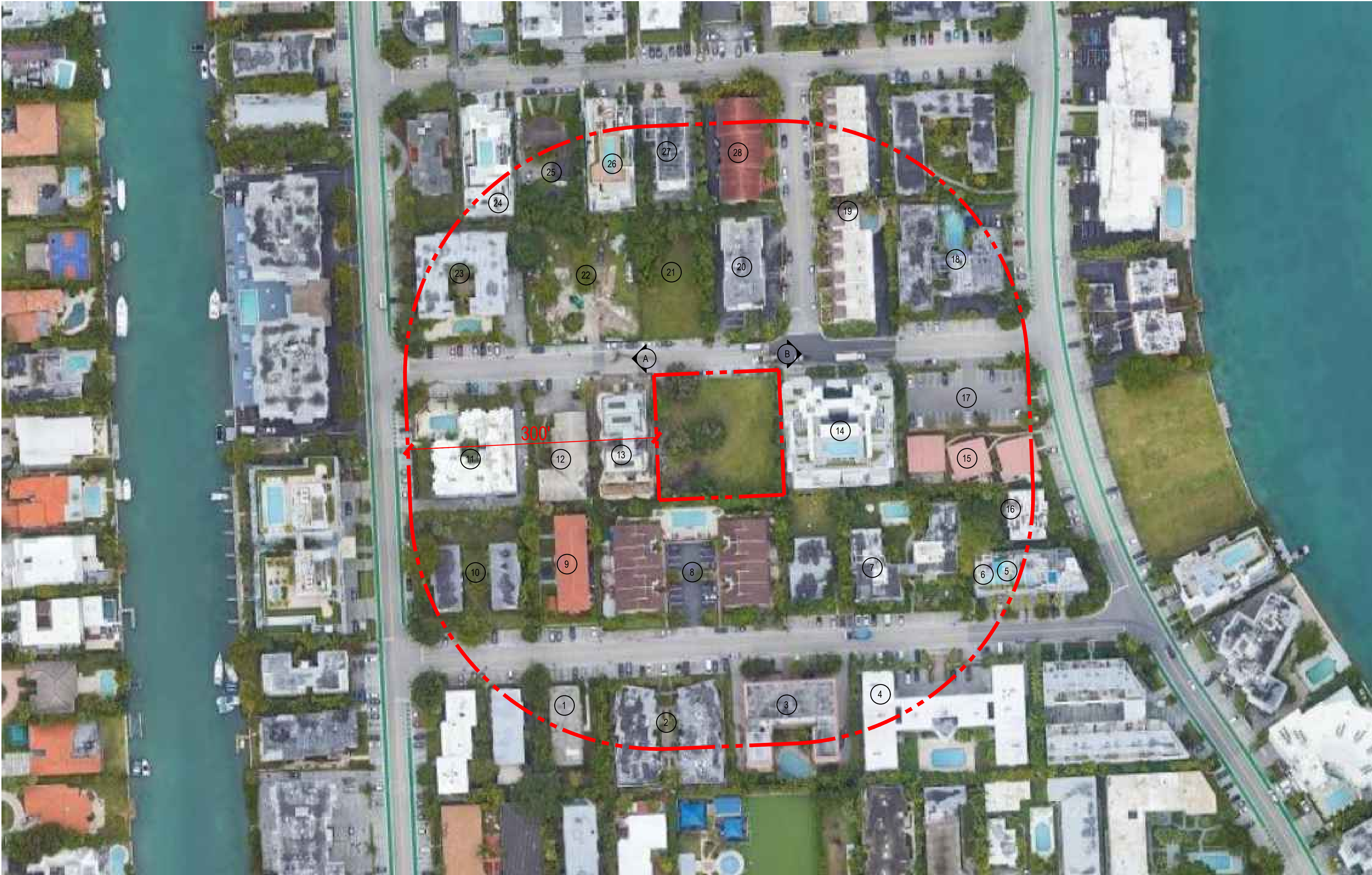


1 AERIAL RENDERING  
SCALE: 1/8" = 1' - 0"



ADJACENT LAND USES

ADDRESS	STORIES	LAND USES (DWELLING UNITS)
1. 1160 99TH STREET	2	RESIDENTIAL (4 D.U.)
2. 1140 99TH STREET	2	RESIDENTIAL (16 D.U.)
3. 1120 99TH STREET	5	RESIDENTIAL (25 D.U.)
4. 1080 99TH STREET	3	RESIDENTIAL (23 D.U.)
5. 1075 99TH STREET	3	RESIDENTIAL (1 D.U.)
6. 1065 99TH STREET	3	RESIDENTIAL (1 D.U.)
7. 1085 99TH STREET	2	RESIDENTIAL (4 D.U.)
8. 1135 99TH STREET	2	RESIDENTIAL (8 D.U.)
9. 1165 99TH STREET	2	RESIDENTIAL (7 D.U.)
10. 1175 99TH STREET		UNDER CONSTRUCTION
11. 9917 W BAY HARBOR DR	3	RESIDENTIAL (11 D.U.)
12. 1160 100TH STREET	2	RESIDENTIAL (6 D.U.)
13. 1150 100TH STREET	4	UNDER CONSTRUCTION
14. 1120 100TH STREET	8	RESIDENTIAL (26 D.U.)
15. 9970-9980 E BAY HARBOR DR	1	RESIDENTIAL (3 D.U.)
16. 9950 E BAY HARBOR DR	2	RESIDENTIAL (4 D.U.)
17. 9665 BAY HARBOR TERR		VACANT
18. 10002 E BAY HARBOR DR	2	RESIDENTIAL (18 D.U.)
19. 10011-10093 BAY HARBOR TERR	3	RESIDENTIAL (12 D.U.)
20. 10000 BAY HARBOR TERR	5	RESIDENTIAL (12 D.U.)
21. 1145 100TH STREET		UNDER CONSTRUCTION
22. 1155-1167 100TH STREET		UNDER CONSTRUCTION
23. 10001 W BAY HARBOR DR	4	RESIDENTIAL (33 D.U.)
24. 1170 101ST STREET	7	RESIDENTIAL (15 D.U.)
25. 1160-1164 101ST STREET	1	RESIDENTIAL (2 D.U.)
26. 1150 101ST STREET	7	RESIDENTIAL (17 D.U.)
27. 1140 101ST STREET	6	RESIDENTIAL (10 D.U.)
28. 10090-10010 BAY HARBOR TERR	2	RESIDENTIAL (6 D.U.)



2 SITE PHOTOGRAPH



A. WEST STREET VIEW

B. EAST STREET VIEW

13. 1150 100TH STREET

14. 1120 100TH STREET

20. 10000 BAY HARBOR TERR

21. 1145 100TH STREET

1 CONTEXT PHOTOGRAPHS

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1130-1140 100TH STREET,  
BAY HARBOR ISLANDS, FL 33154

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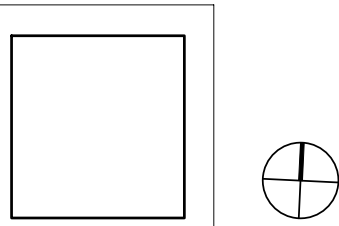
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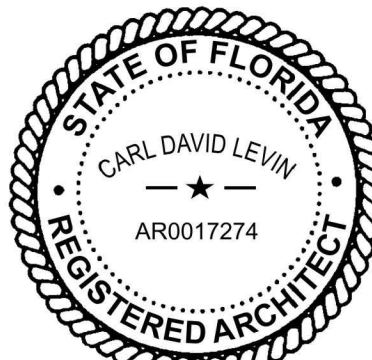
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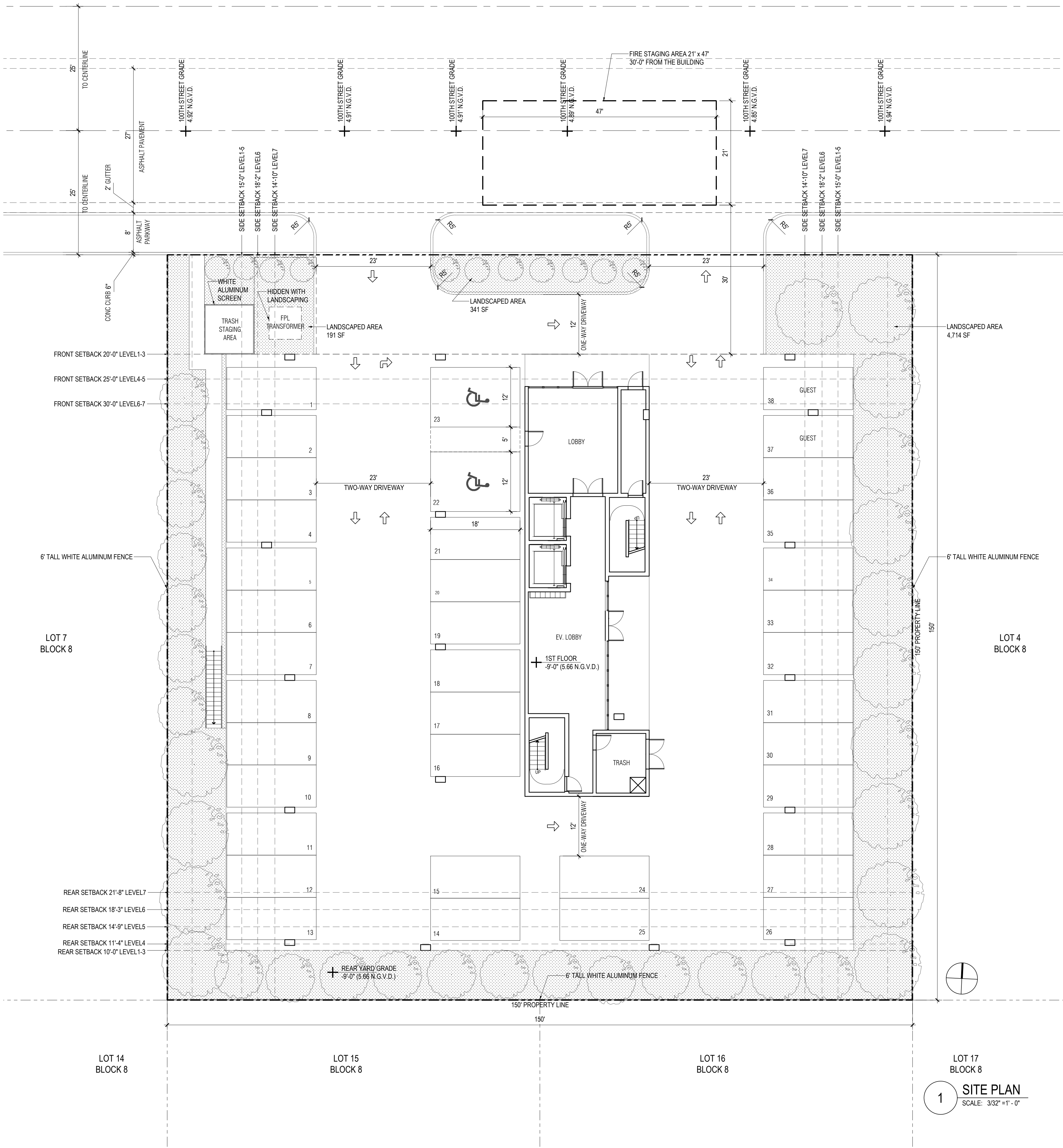
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SITE AND CONTEXT PHOTOGRAPHS

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## FLOOD INFORMATION AND LEGEND

FLOOD ZONE:	AE 8.00 / AE 9.00
COMMUNITY NUMBER:	120637
PANEL NUMBER:	1208660144
SUFFIX:	L
BASE FLOOD ELEVATION:	9.67' NGVD
HEIGHT OF LOWEST HABITABLE FLOOR:	14.67' NGVD
BUILDING ELEVATIONS ARE BASED ON:	CONSTRUCTION DRAWING
ELEVATION DATUM USED:	NGVD 1929
A) TOP OF BOTTOM FLOOR:	5.66' NGVD
B) TOP OF THE NEXT HIGHER FLOOR:	14.67' NGVD
C) BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER:	N/A
D) ATTACHED GARAGE (TOP OF SLAB):	5.66' NGVD
E) LOWEST ELEVATION OF MACHINERY OR EQUIPMENT SERVICING THE BUILDING:	14.67' NGVD
F) LOWEST ADJACENT GRADE NEXT TO BUILDING:	5.59' NGVD
G) HIGHEST ADJACENT GRADE NEXT TO BUILDING:	5.65' NGVD
H) LOWEST ADJACENT GRADE AT LOWEST ELEVATION OF DECK OR STAIRS, INCLUDING STRUCTURAL SUPPORT:	N/A
I) HIGHEST CROWN OF ROAD:	4.94' NGVD

## SITE REQUIREMENTS

	ALLOWED / REQUIRED:	PROPOSED:
LOT AREA:	22,500 SF (0.517 ACRES)	22,500 SF (0.517 ACRES)
DENSITY:	34 DWELLINGS/ACRE MAX 0.517 X 34 = 17.5 (18 UNITS)	18 UNITS
BUILDING HEIGHT:	65'-0"	64'-0"
BUILDING LENGTH:	120'-0"	118'-0"
LANDSCAPE REQUIREMENTS:	MIN. 20 PERCENT LANDSCAPED "GREEN" OPEN SPACE AT GROUND LEVEL 1ST FLOOR: 22,500 SF x 20% = 4,500 SF	5,246 SF
BUILDING ROOF DESIGN:	MIN. 15 PERCENT OF FLAT ROOF DECK SHALL BE LANDSCAPED 3RD FLOOR: 1,540 SF x 15% = 231 SF 4TH FLOOR: 1,343 SF x 15% = 201 SF 5TH FLOOR: 2,798 SF x 15% = 420 SF 7TH FLOOR: 887 SF x 15% = 133 SF ROOF: 3,974 SF x 15% = 596 SF	288 SF 240 SF 495 SF 135 SF 1,531 SF

## SETBACK REQUIREMENTS

	ALLOWED / REQUIRED:	PROPOSED:
FRONT YARD SETBACK:	BUILDING LESS THAN 30'-0" BUILDING LESS THAN 45'-0" BUILDING LESS THAN 65'-0"	LEVEL 1: 20'-0" / LEVEL 2: 20'-0" LEVEL 3: 20'-0" / LEVEL 4: 25'-0" LEVEL 5: 32'-0" / LEVEL 6: 32'-0" / LEVEL 7: 32'-0"
SIDE YARD SETBACK:	BUILDING LESS THAN 30'-10'-0" FOR EACH ADDITIONAL THREE FEET OF BUILDING HEIGHT ABOVE 30', THERE SHALL BE ONE ADDITIONAL FOOT OF BUILDING SETBACK FOR THAT PORTION OF THE STRUCTURE OVER 30' IN HEIGHT. FOR DEVELOPMENTS ON MORE THAN ONE LOT THE MINIMUM SETBACK FROM EACH SIE LOT LINE SHALL BE EQUAL TO 10% OF THE STREET FRONTAGE OF THE LOT BUT NOT LESS THAN TEN.	WEST / EAST LEVEL 1: 11'-10" / 11'-10" LEVEL 2: 19'-0" / 19'-0" LEVEL 3: 19'-0" / 19'-0" LEVEL 4: 19'-0" / 19'-0" LEVEL 5: 23'-8" / 23'-8" LEVEL 6: 23'-8" / 23'-8" LEVEL 7: 23'-8" / 23'-8"
REAR YARD SETBACK:	BUILDING LESS THAN 30'-10'-0" FOR EACH ADDITIONAL THREE FEET OF BUILDING HEIGHT ABOVE 30', THERE SHALL BE ONE ADDITIONAL FOOT OF BUILDING SETBACK FOR THAT PORTION OF THE STRUCTURE OVER 30' IN HEIGHT	LEVEL 1: 10'-0" / LEVEL 2: 12'-0" LEVEL 3: 12'-0" / LEVEL 4: 13'-0" LEVEL 5: 41'-0" / LEVEL 6: 41'-0" / LEVEL 7: 41'-0"
OFF-STREET PARKING SETBACK:	5'-0"	LEVEL 1: 11'-10" (WEST) / 11'-10" (EAST)

## DEVELOPMENTAL IMPACT ANALYSIS

2020 U.S. CENSUS:	2.60 PERSONS PER HOUSEHOLD
EXISTING PROPERTY INFORMATION:	0 LIVING UNITS, 0 STORIES
POTABLE WATER:	200 GALLONS PER CAPITA, PER DAY x 2.60 = 156 GALLONS PER CAPITA, PER DAY x 2.60 = 0.632 TONS PER CAPITA, PER YEAR x 2.60 =
SANITARY SEWER:	156 GALLONS PER CAPITA, PER DAY x 2.60 = 405.6 GAL x 18 D.U. = 7,300.8 GAL PER DAY
SOLID WASTE:	0.632 TONS PER CAPITA, PER YEAR x 2.60 = 1.64 GAL x 18 D.U. = 29.58 GAL PER DAY
TRAFFIC:	5.44 TRIPS PER UNIT PER DAY = 5.44 x 0.36 A.M. PEAK = 5.44 x 0.44 P.M. PEAK =
18 LIVING UNITS, 7 STORIES	5.44 TRIPS x 18 D.U. = 97.92 TRIPS 1.96 TRIPS x 0 D.U. = 0 TRIPS 0.78 TRIPS x 0 D.U. = 0 TRIPS 2.39 TRIPS x 0 D.U. = 0 TRIPS
POTABLE WATER:	200 GALLONS PER CAPITA, PER DAY x 2.60 = 156 GALLONS PER CAPITA, PER DAY x 2.60 = 0.632 TONS PER CAPITA, PER YEAR x 2.60 =
SANITARY SEWER:	156 GALLONS PER CAPITA, PER DAY x 2.60 = 405.6 GAL x 18 D.U. = 7,300.8 GAL PER DAY
SOLID WASTE:	0.632 TONS PER CAPITA, PER YEAR x 2.60 = 1.64 GAL x 18 D.U. = 29.58 GAL PER DAY
TRAFFIC:	5.44 TRIPS PER UNIT PER DAY = 5.44 x 0.36 A.M. PEAK = 5.44 x 0.44 P.M. PEAK =
35.28 TRIPS A.M. PEAK - 0 TRIPS = 43.02 TRIPS P.M. PEAK DIFFERENCE	5.44 TRIPS x 18 D.U. = 97.92 TRIPS 1.96 TRIPS x 18 D.U. = 35.28 TRIPS A.M. PEAK 2.39 TRIPS x 18 D.U. = 43.02 TRIPS P.M. PEAK
POTABLE WATER:	9,360 GAL PER DAY - 0 GAL PER DAY = 7,300.8 GAL PER DAY DIFFERENCE
SANITARY SEWER:	7,300.8 GAL PER DAY - 0 GAL PER DAY = 29.58 GAL PER DAY DIFFERENCE
SOLID WASTE:	29.58 GAL PER DAY - 0 GAL PER DAY = 43.02 TRIPS P.M. PEAK DIFFERENCE
TRAFFIC:	97.92 TRIPS - 0 TRIPS = 35.28 TRIPS A.M. PEAK - 0 TRIPS = 43.02 TRIPS P.M. PEAK DIFFERENCE

## UNIT MIX CHART

UNIT / # OF BEDROOM	REQUIRED:	PROVIDED:	UNIT / # OF BEDROOM	REQUIRED:	PROVIDED:	UNIT / # OF BEDROOM	REQUIRED:	PROVIDED:	UNIT / # OF BEDROOM	REQUIRED:	PROVIDED:
2A / 3	1,350 SF	3,004 SF	3C / 3	1,350 SF	2,185 SF	5A / 4	1,550 SF	3,223 SF	7A / 3	1,350 SF	2,667 SF
2B / 3	1,350 SF	2,824 SF	3D / 4	1,550 SF	2,620 SF	5B / 4	1,550 SF	2,771 SF	7B / 3	1,350 SF	2,315 SF
2C / 3	1,350 SF	2,195 SF	4A / 3	1,350 SF	2,830 SF	6A / 4	1,550 SF	2,933 SF			
2D / 3	1,350 SF	2,620 SF	4B / 4	1,550 SF	2,069 SF	6B / 4	1,550 SF	2,709 SF			
3A / 4	1,550 SF	3,300 SF	4C / 3	1,350 SF	2,266 SF						
3B / 4	1,550 SF	2,639 SF	4D / 3	1,350 SF	1,991 SF						

## PROJECT DESCRIPTION

LEGAL DESCRIPTION:	LOT 5 AND LOT 6, BLOCK 8, OF 'BAY HARBOR ISLAND' ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, AT PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
FOLIO NUMBER:	13-2227-001-1690, 13-2227-001-1690
PROJECT NAME:	BH1 1130-1140 100TH ST
PROJECT ADDRESS:	1130-1140 100TH STREET, BAY HARBOR ISLANDS, FL 33154
MUNICIPALITY:	THE TOWN OF BAY HARBOR ISLAND
ZONING:	RM-2 (MULTIPLE FAMILY DISTRICT, NON-WATERFRONT LOTS)
OCCUPANCY CLASSIFICATION:	R-2 AS PER FBC 2020 SECTION 310.4
GROSS LOT AREA:	22,500 SF (0.517 ACRES)
BASE FLOOD ELEVATION:	9.67' NGVD
DESIGN FLOOD ELEVATION:	9.67' + 1' = 9.67' NGVD
BUILDING HEIGHT:	64'-0"
BUILDING STORIES:	7

## PARKING REQUIREMENTS

	REQUIRED:	PROPOSED:
RESIDENTIAL:	2 PS PER DWELLING UNIT (18 UNITS X 2PS = 36 PS)	38 PS
	1 GUEST PS PER LOT (2 LOTS X 1PS = 2 PS)	
PARKING PER FLOOR:		
LEVEL 1 (PARKING GARAGE)	36 STANDARD PS + 2 ACCESSIBLE PS = 38 PS	TOTAL 38 PS

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1130-1140 100TH STREET,  
BAY HARBOR ISLANDS, FL 33154

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**REDIODEX + PARTNERS**  
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T: 718.852.8162

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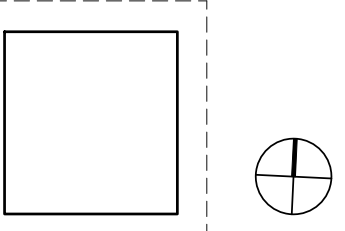
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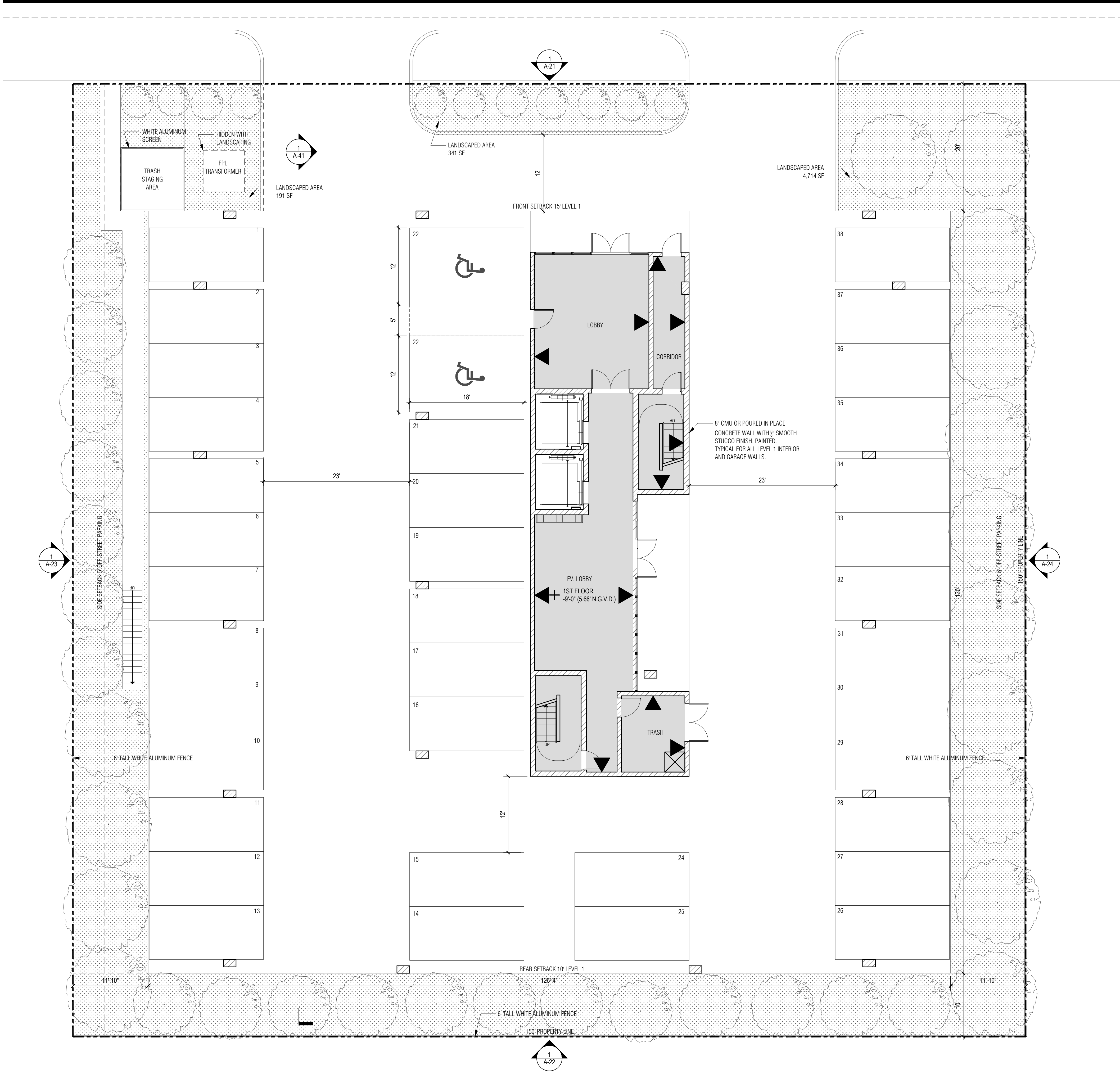
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DRAWING KEY

- 8" CMU OR POURED IN PLACE CONCRETE WALL WITH 1/2" SMOOTH STUCCO FINISH, PAINTED
- WET-FLOOD AREA
- ENGINEERED FLOOD VENT (SMART VENT MO. NO. 1540-520)

SHEET NOTES

- ALL MATERIALS BELOW BFE +1 ( 9.00' N.G.V.D.) TO BE COMPATIBLE WITH FLOOD-RESISTANT MATERIALS IN ACCORDANCE WITH SECTION 5, ASCE 24.
- PROPOSED LAYOUT DESIGNED TO PROVIDE FOR THE AUTOMATIC ENTRY AND EXIT OF FLOODWATERS FOR EQUALIZATION OF HYDROSTATIC FLOOD FORCES IN ACCORDANCE WITH SECTION 2.6.2, ASCE 24.
- ALL FLOOD VENTS TO COMPLY WITH THE DESIGN PRINCIPLE NOTED IN SECTION 2.7.2.2 AND SECTION 2.7.3 OF ASCE/SEI 24-14 FOR A MAXIMUM RATE OF RISE AND FALL OF 5.0 FEET PER HOUR (0.423 MM/S).

FLOOD VENT CALCULATION

FLOOD VENT SIZE = 16" W x 8" H X 3'D  
FLOOD VENT OPENING SIZE = 16.25" W X 8.25" H  
FLOOD VENT COVERAGE = 200 SF

WET FLOODED AREA 1: LOBBY = 381 SF  
2 X FLOOD VENT = 2 X 200 SF = 400 SF  
FLOOD COVERAGE = 400 SF > WET FLOODED AREA 381 SF

WET FLOODED AREA 2: CORRIDOR = 103 SF  
2 X FLOOD VENT = 2 X 200 SF = 400 SF  
FLOOD COVERAGE = 400 SF > WET FLOODED AREA 103 SF

WET FLOODED AREA 3: ELEVATOR LOBBY = 599 SF  
2 X FLOOD VENT = 3 X 200 SF = 600 SF  
FLOOD COVERAGE = 600 SF > WET FLOODED AREA 599 SF

WET FLOODED AREA 4: STAIRCASE 1 = 108 SF  
2 X FLOOD VENT = 2 X 200 SF = 400 SF  
FLOOD COVERAGE = 400 SF > WET FLOODED AREA 108 SF

WET FLOODED AREA 5: STAIRCASE 2 = 108 SF  
2 X FLOOD VENT = 2 X 200 SF = 400 SF  
FLOOD COVERAGE = 400 SF > WET FLOODED AREA 108 SF

WET FLOODED AREA 6: TRASHROOM = 120 SF  
2 X FLOOD VENT = 2 X 200 SF = 400 SF  
FLOOD COVERAGE = 400 SF > WET FLOODED AREA 120 SF

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CARL LEVIN ARCHITECTURE + DESIGN  
3390 MARY STREET, SUITE 135  
COCONUT GROVE, FL 33133  
T: 305 442 3118

CIVIL:  
NGA ENGINEERS INC.  
11231 SW 88TH ST., UNIT D-114  
MIAMI, FL 33176  
T: 305 200 6701

LANDSCAPE:  
STRATA LANDSCAPE ARCHITECTURE  
1906 TIGERTAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

LIGHTING:  
POWER & LIGHTING SYSTEMS, INC.  
3832 SHIPPING AVE.  
MIAMI, FL 33146  
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TITLE  
1ST FLOOR  
FLOOR PLAN

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A-11

1 1ST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



BHI 1130-1140 100TH ST  
1130-1140 100TH STREET,  
BAY HARBOR ISLANDS, FL 33154

DEVELOPER:  
REDDEX + PARTNERS  
138 PIONEER STREET  
BROOKLYN, NY 11231  
T: 718.852.8162

DESIGNER:  
FAB 314 ARCHITECTURE WORKSHOP  
HAYES00 STREET 2 #121  
TEL AVIV-YAFO, 6816721, IL  
T: 972-50-888-2629

DESIGNER:  
PLISKIN ARCHITECTURE PLLC  
233 BROADWAY, SUITE 2030  
NEW YORK, NY 10279  
T: 212-999-9885

ARCHITECT:  
CARL LEVIN ARCHITECTURE + DESIGN  
3380 MARY STREET, SUITE 135  
COCONUT GROVE, FL 33133  
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CIVIL:  
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LANDSCAPE:  
STRATA LANDSCAPE ARCHITECTURE  
1906 TIGERTAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

LIGHTING:  
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MIAMI, FL 33146  
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DOB APPROVAL SCAN

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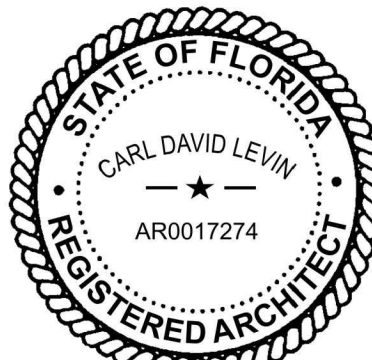
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TITLE  
3RD FLOOR  
FLOOR PLAN

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A-13

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1 3RD FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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BROOKLYN, NY 11231  
T: 718.852.8162

DESIGNER:  
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3380 MARY STREET, SUITE 135  
COCONUT GROVE, FL 33133  
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CIVIL:  
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11231 SW 88TH ST., UNIT D-114  
MIAMI, FL 33176  
T: 305 200 6701

LANDSCAPE:  
STRATA LANDSCAPE ARCHITECTURE  
1906 TIGERTAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

LIGHTING:  
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MIAMI, FL 33146  
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DOB APPROVAL SCAN

KEY PLAN

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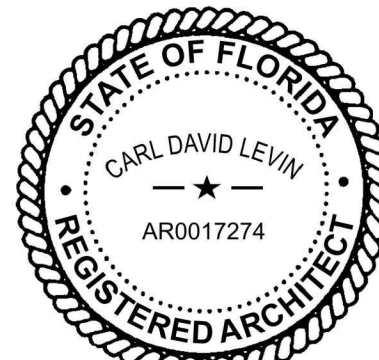
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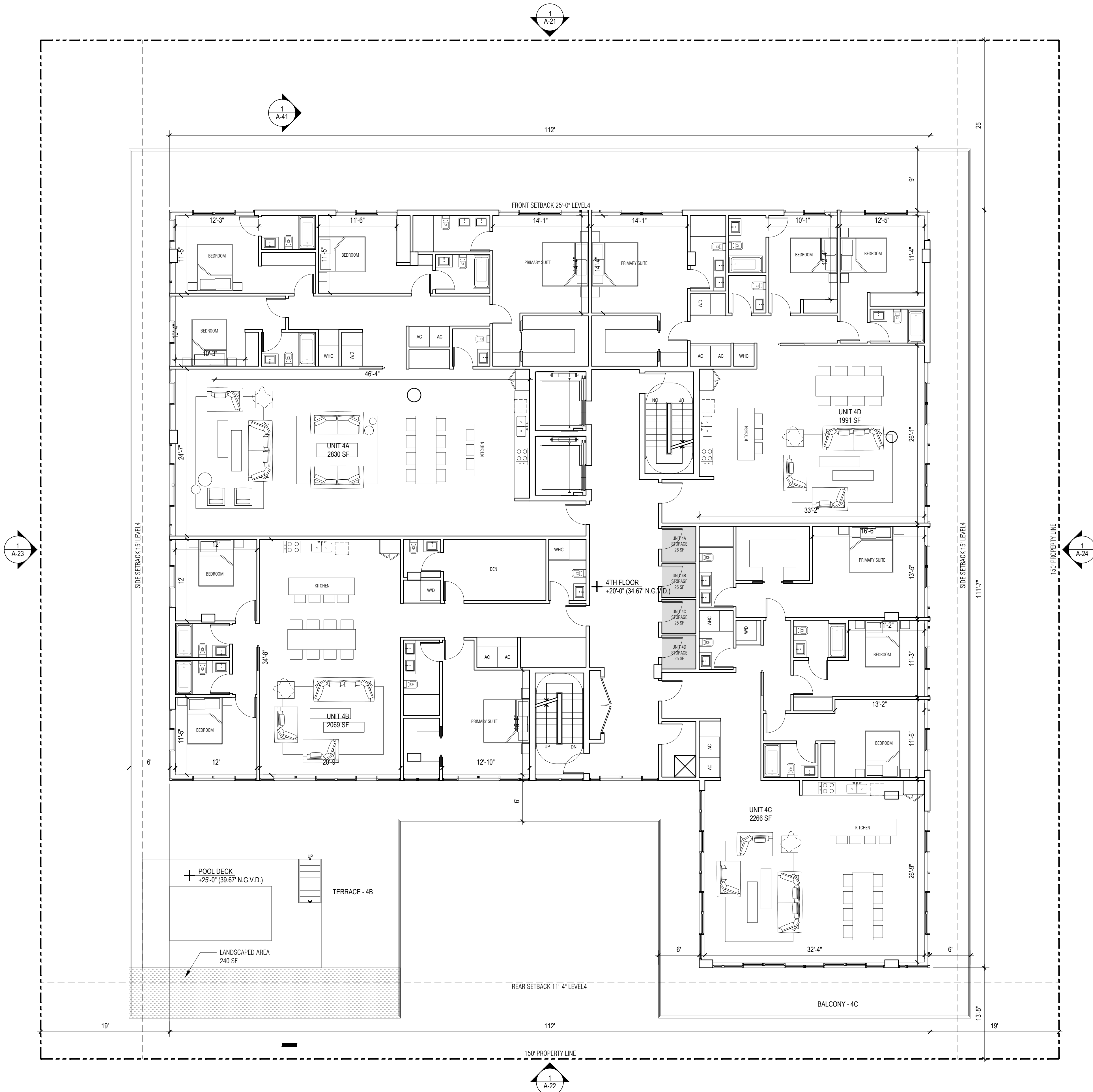
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4TH FLOOR  
FLOOR PLAN

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A-14

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1 4TH FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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BROOKLYN, NY 11231  
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T: 305 200 6701

LANDSCAPE:  
STRATA LANDSCAPE ARCHITECTURE  
1906 TIGERTAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

LIGHTING:  
POWER & LIGHTING SYSTEMS, INC.  
3822 SHIPPING AVE.  
MIAMI, FL 33146  
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DOB APPROVAL SCAN

KEY PLAN

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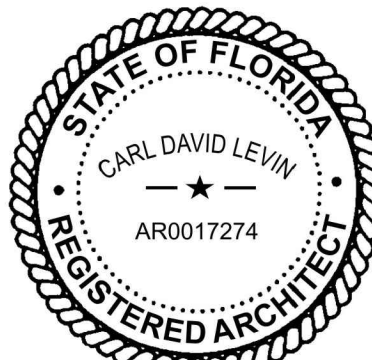
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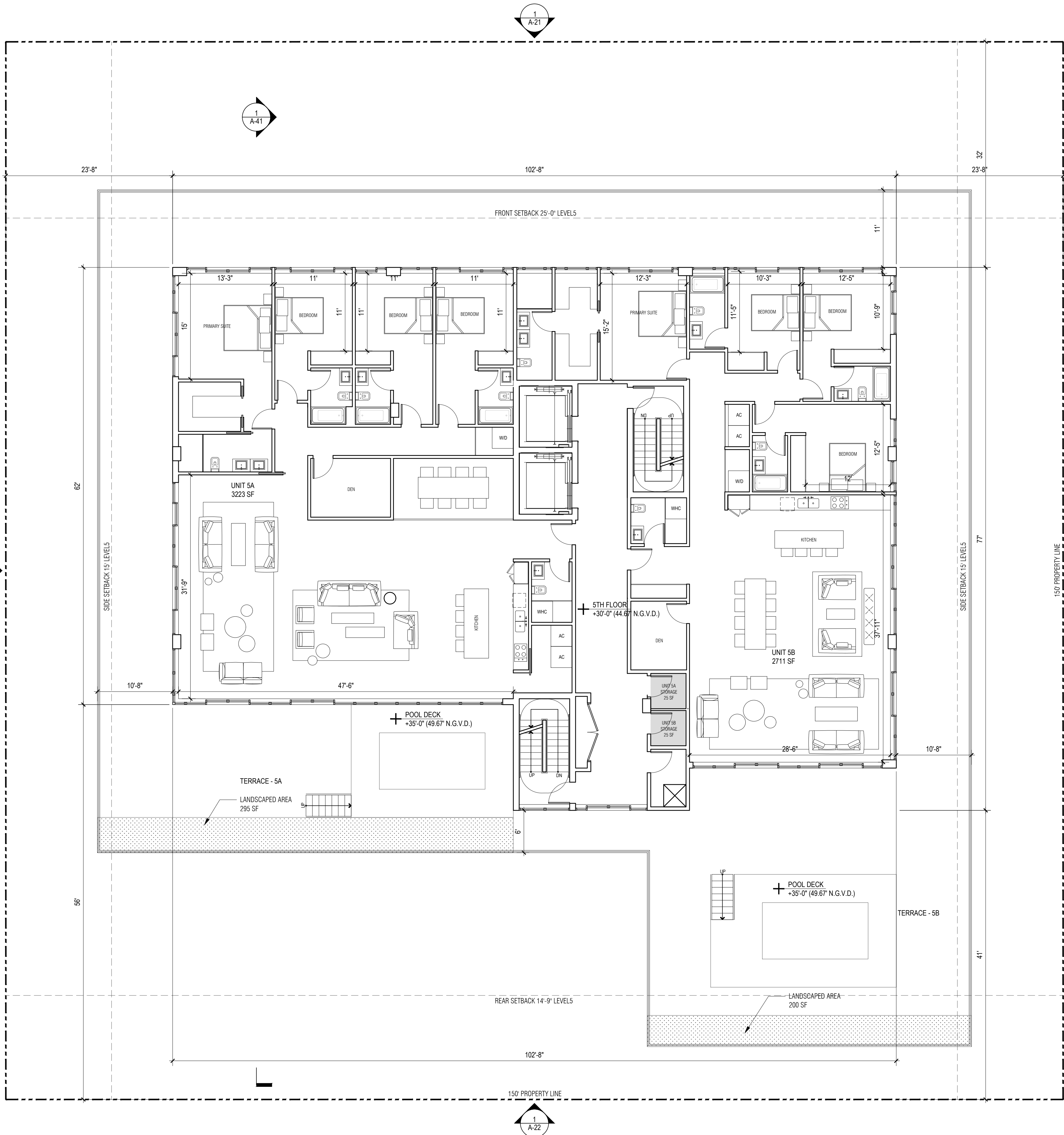
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2218

TITLE  
5TH FLOOR  
FLOOR PLAN

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A-15

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1 5TH FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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BROOKLYN, NY 11231  
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HAYES00 STREET 2 #121  
TEL AVIV-YAFO, 6816721, IL  
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DESIGNER:  
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NEW YORK, NY 10279  
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ARCHITECT:  
CARL LEVIN ARCHITECTURE + DESIGN  
3330 MARY STREET, SUITE 135  
COCONUT GROVE, FL 33133  
T: 305 442 3118

CIVIL:  
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MIAMI, FL 33176  
T: 305 200 6701

LANDSCAPE:  
STRATA LANDSCAPE ARCHITECTURE  
1906 TIGERTAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

LIGHTING:  
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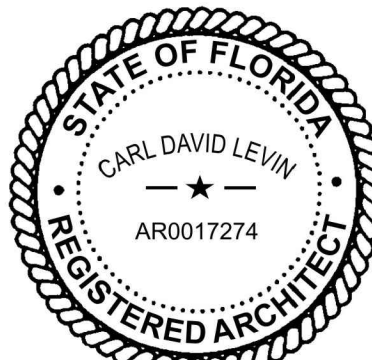
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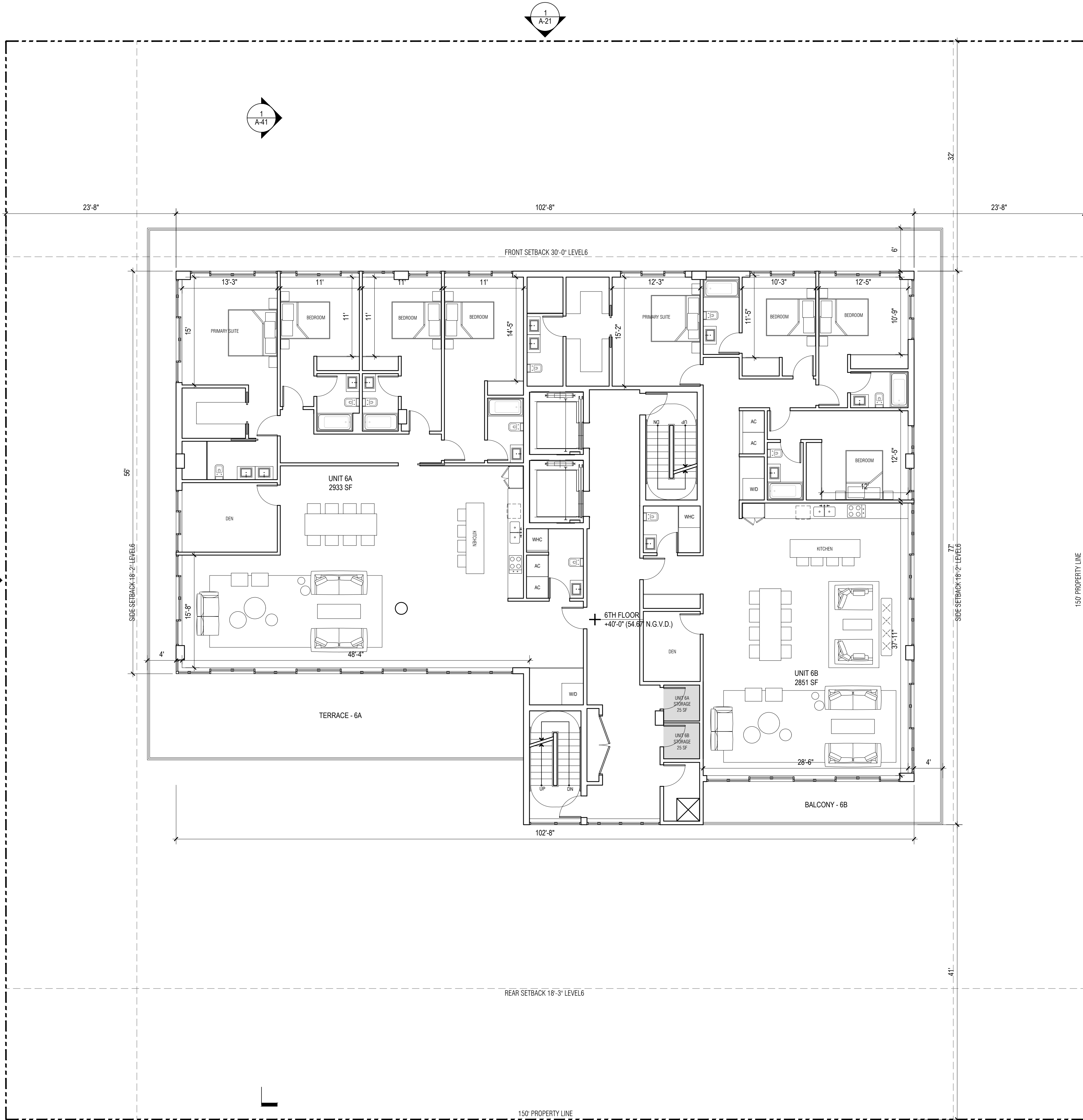
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TITLE  
RTH FLOOR  
FLOOR PLAN

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1 6TH FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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BROOKLYN, NY 11231  
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LANDSCAPE:  
STRATA LANDSCAPE ARCHITECTURE  
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DOB APPROVAL SCAN

KEY PLAN

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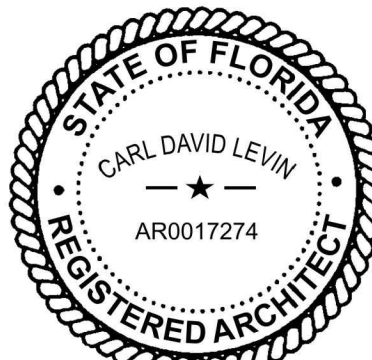
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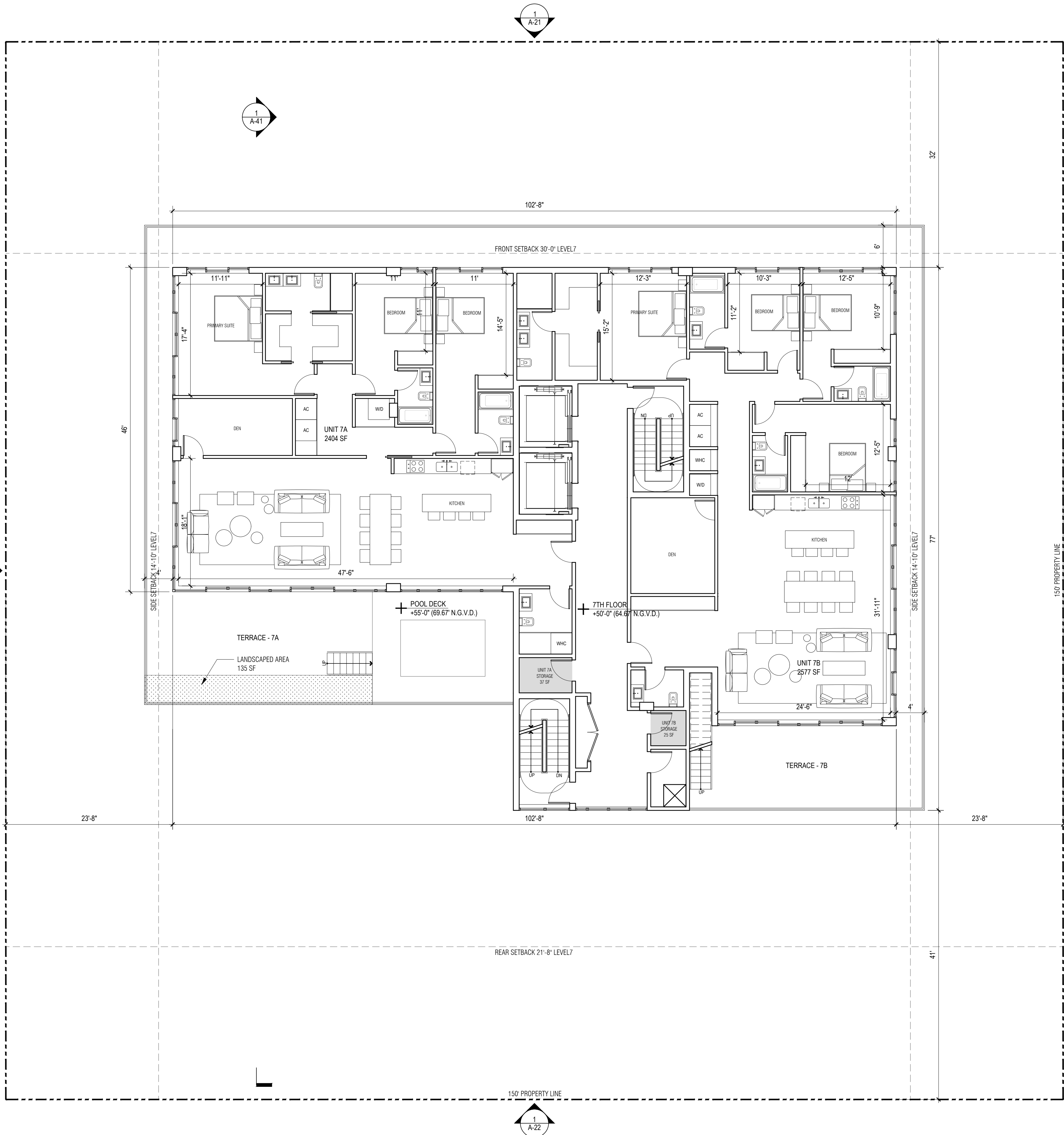
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2218

TITLE  
7TH FLOOR  
FLOOR PLAN

DRAWING NO.

A-17

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1 7TH FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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DEVELOPER:  
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BROOKLYN, NY 11231  
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DESIGNER:  
FAB 314 ARCHITECTURE WORKSHOP  
HAYES00 STREET 2 #121  
TEL AVIV-YAFO, 6816721, IL  
T: 972-50-888-2629

DESIGNER:  
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233 BROADWAY, SUITE 2030  
NEW YORK, NY 10279  
T: 212-999-9885

ARCHITECT:  
CARL LEVIN ARCHITECTURE + DESIGN  
3300 MARY STREET, SUITE 135  
COCONUT GROVE, FL 33133  
T: 305 442 3118

CIVIL:  
NGA ENGINEERS INC.  
11231 SW 88TH ST., UNIT D-114  
MIAMI, FL 33176  
T: 305 200 6701

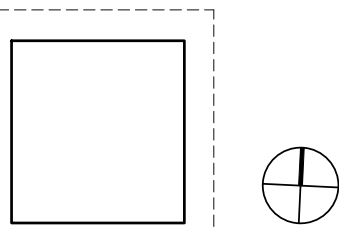
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1906 TIGERTAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

LIGHTING:  
POWER & LIGHTING SYSTEMS, INC.  
3832 SHIPPING AVE.  
MIAMI, FL 33146  
T: 305 444 8520

DOB APPROVAL STAMP

DOB APPROVAL SCAN

KEY PLAN



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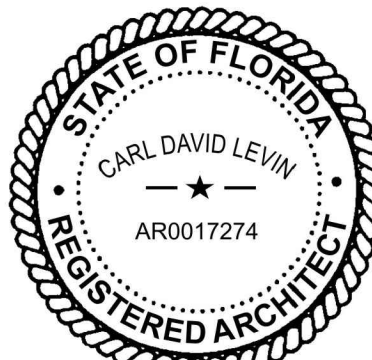
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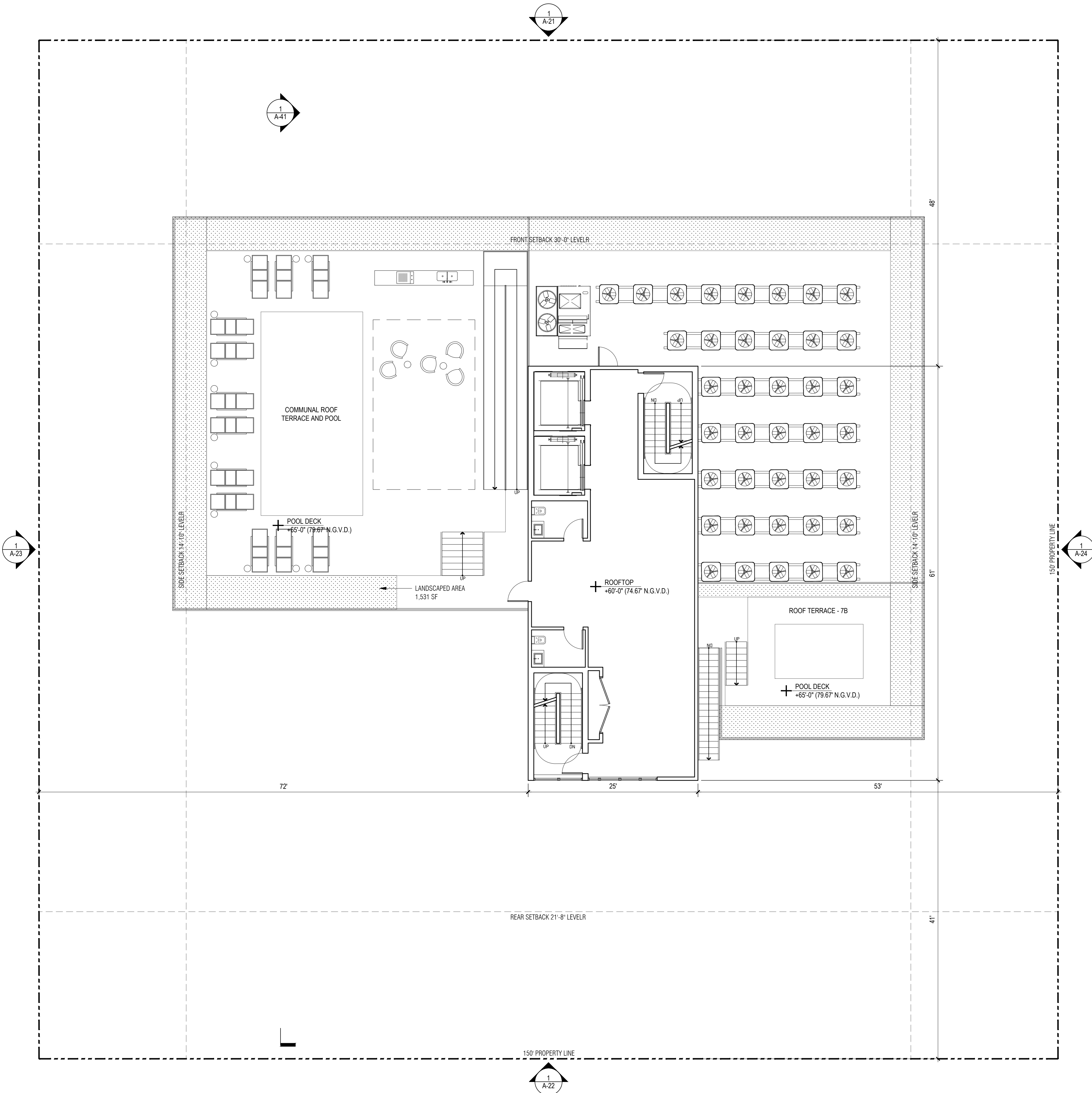
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2218

TITLE  
ROOF FLOOR  
FLOOR PLAN

DRAWING NO.

A-18

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1 ROOF FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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DEVELOPER:  
REDNOX + PARTNERS  
138 PIONEER STREET  
BROOKLYN, NY 11231  
T: 718.852.8162

DESIGNER:  
FAB 314 ARCHITECTURE WORKSHOP  
HAYES00 STREET 2 #121  
TEL AVIV-YAFO, 6816721, IL  
T: 972-50-888-2629

DESIGNER:  
PLISKIN ARCHITECTURE PLLC  
233 BROADWAY, SUITE 2030  
NEW YORK, NY 10279  
T: 212-999-9885

ARCHITECT:  
CARL LEVIN ARCHITECTURE + DESIGN  
3380 MARY STREET, SUITE 135  
COCONUT GROVE, FL 33133  
T: 305 442 3118

CIVIL:  
NGA ENGINEERS INC.  
11231 SW 88TH ST., UNIT D-114  
MIAMI, FL 33176  
T: 305 200 6701

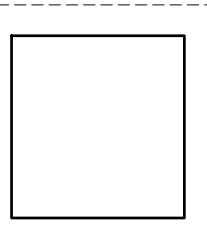
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1906 TIGERTAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

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DOB APPROVAL SCAN

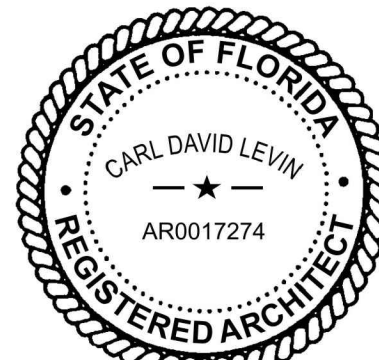
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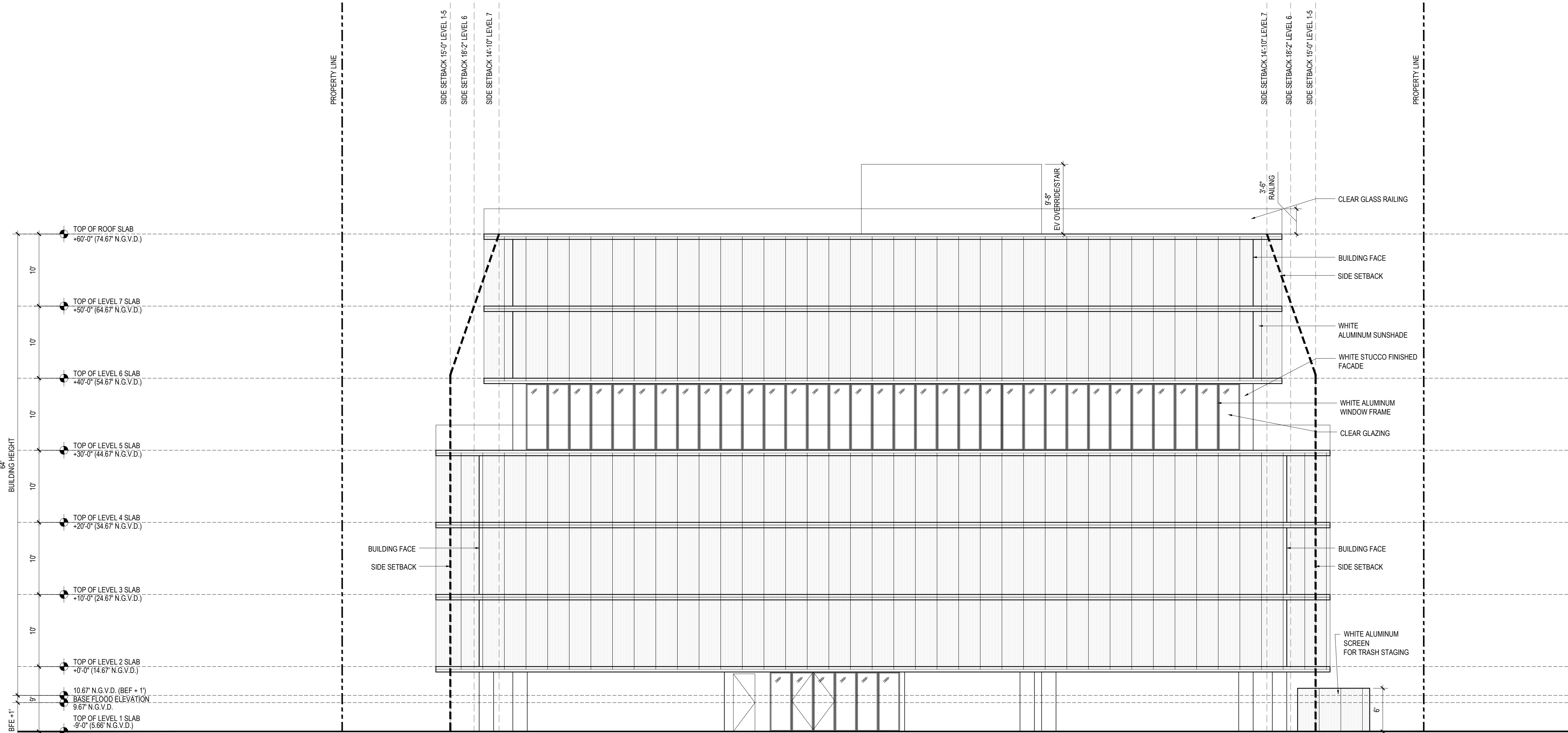
PROJECT NUMBER  
2218

TITLE  
BUILDING ELEVATION  
NORTH

DRAWING NO.

A-21

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1 BUILDING ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"

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1130-1140 100TH STREET,  
BAY HARBOR ISLANDS, FL 33154

DEVELOPER:  
REDINDEX + PARTNERS  
138 PIONEER STREET  
BROOKLYN, NY 11231  
T: 718.852.8162

DESIGNER:  
FAB 314 ARCHITECTURE WORKSHOP  
HAYES00 STREET 2 #121  
TEL AVIV-YAFO, 6816721, IL  
T: 972-50-888-2629

DESIGNER:  
PLISKIN ARCHITECTURE PLLC  
233 BROADWAY, SUITE 2030  
NEW YORK, NY 10279  
T: 212-999-9885

ARCHITECT:  
CARL LEVIN ARCHITECTURE + DESIGN  
3380 MARY STREET, SUITE 135  
COCONUT GROVE, FL 33133  
T: 305 442 3118

CIVIL:  
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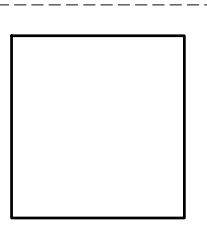
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1906 TIGERTAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

LIGHTING:  
POWER & LIGHTING SYSTEMS, INC.  
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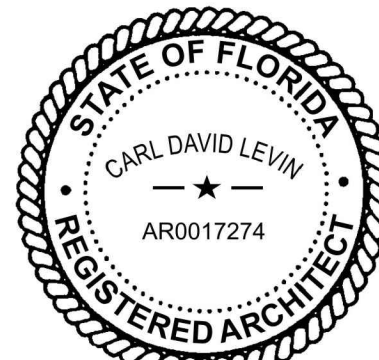
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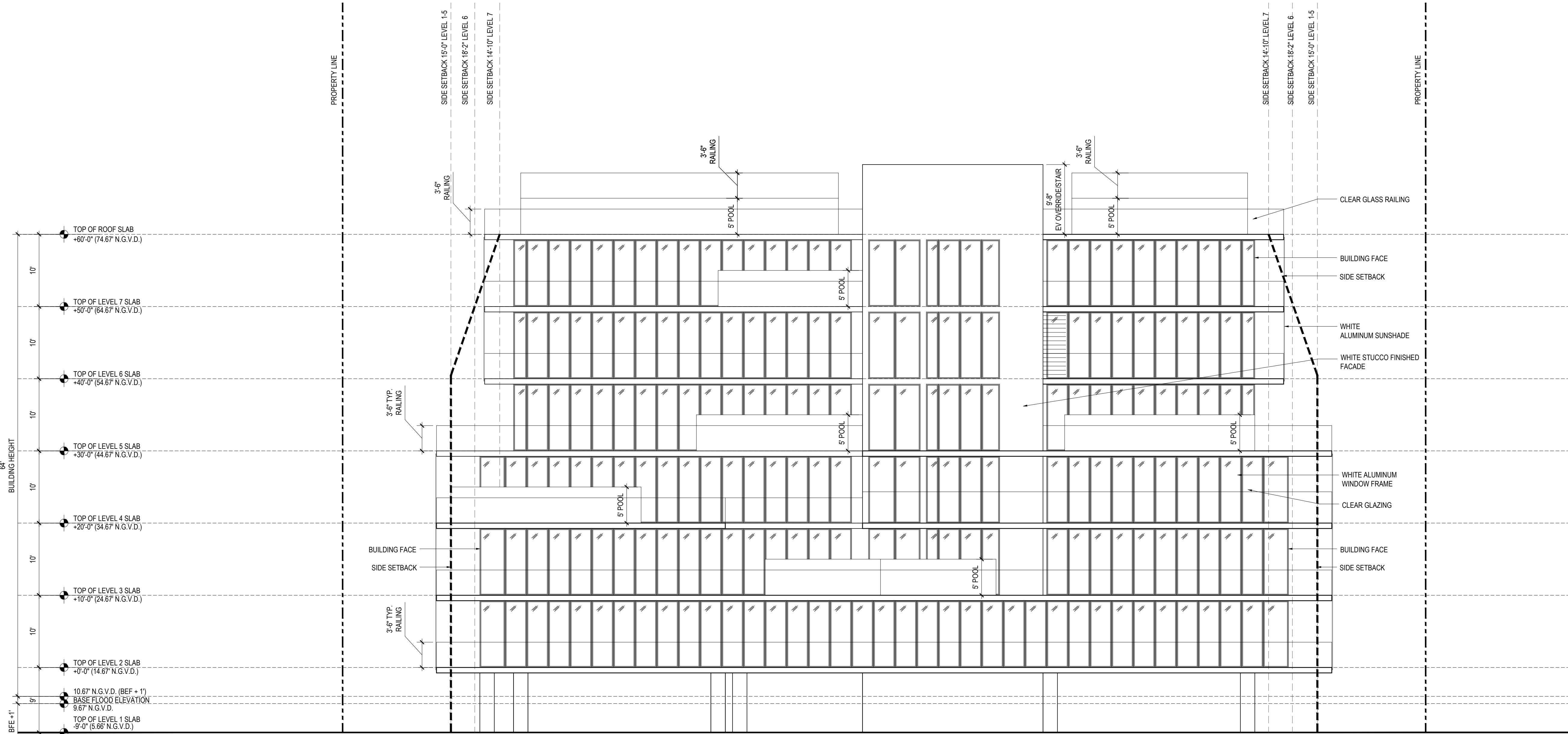
PROJECT NUMBER  
2218

TITLE  
BUILDING ELEVATION  
SOUTH

DRAWING NO.

A-21

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1 BUILDING ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"



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DEVELOPER:  
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CVIL:  
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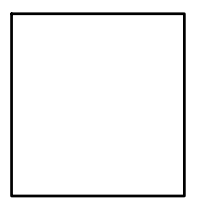
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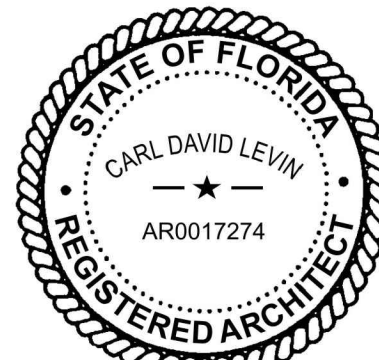
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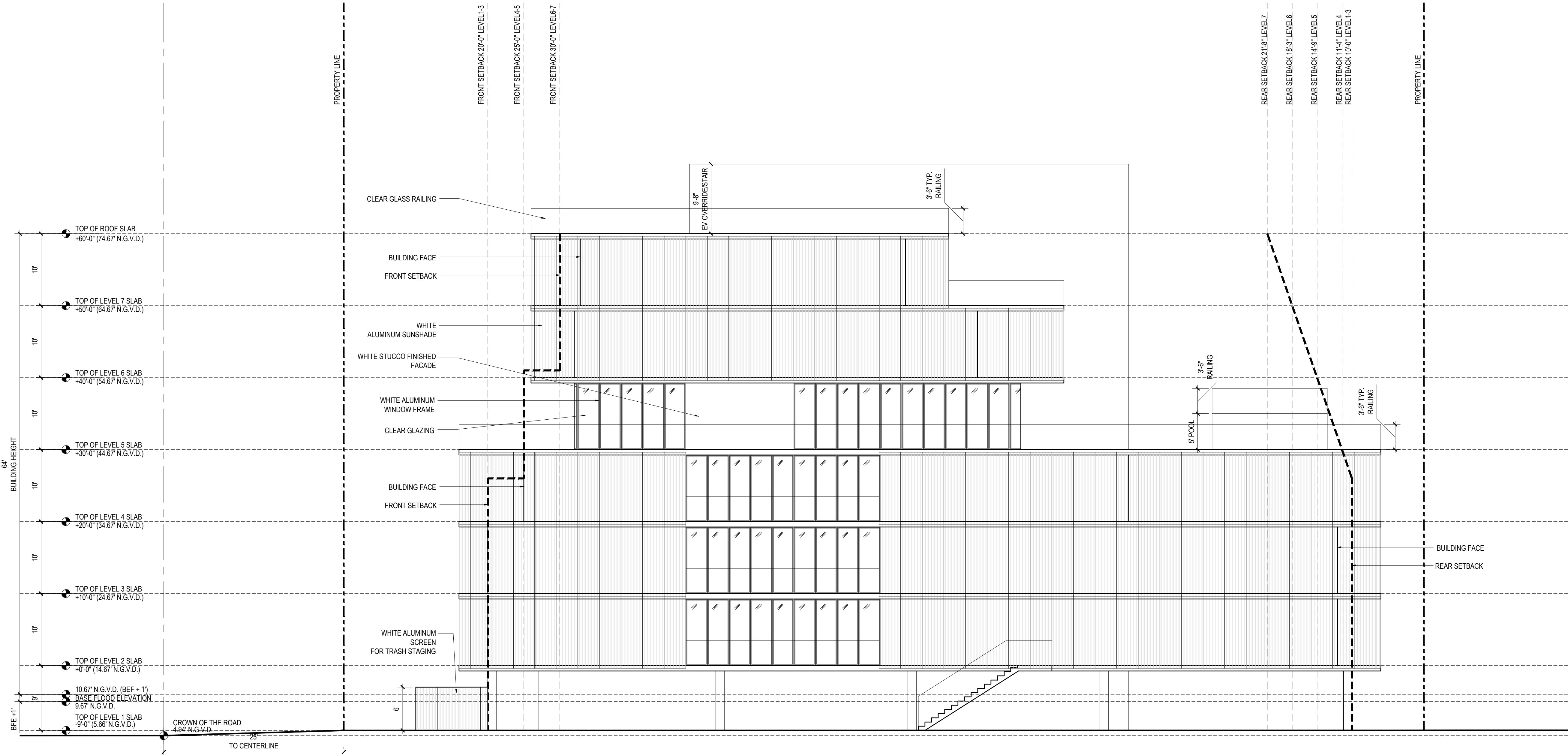
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2218

TITLE  
BUILDING ELEVATION  
WEST

DRAWING NO.

A-23

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1 BUILDING ELEVATION - WEST  
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ARCHITECT:  
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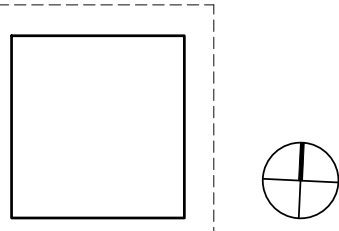
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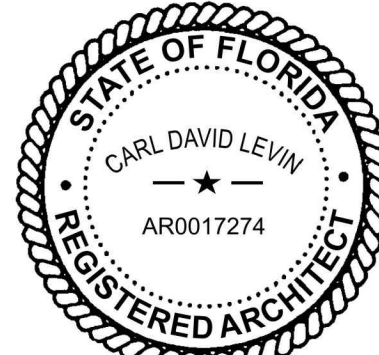
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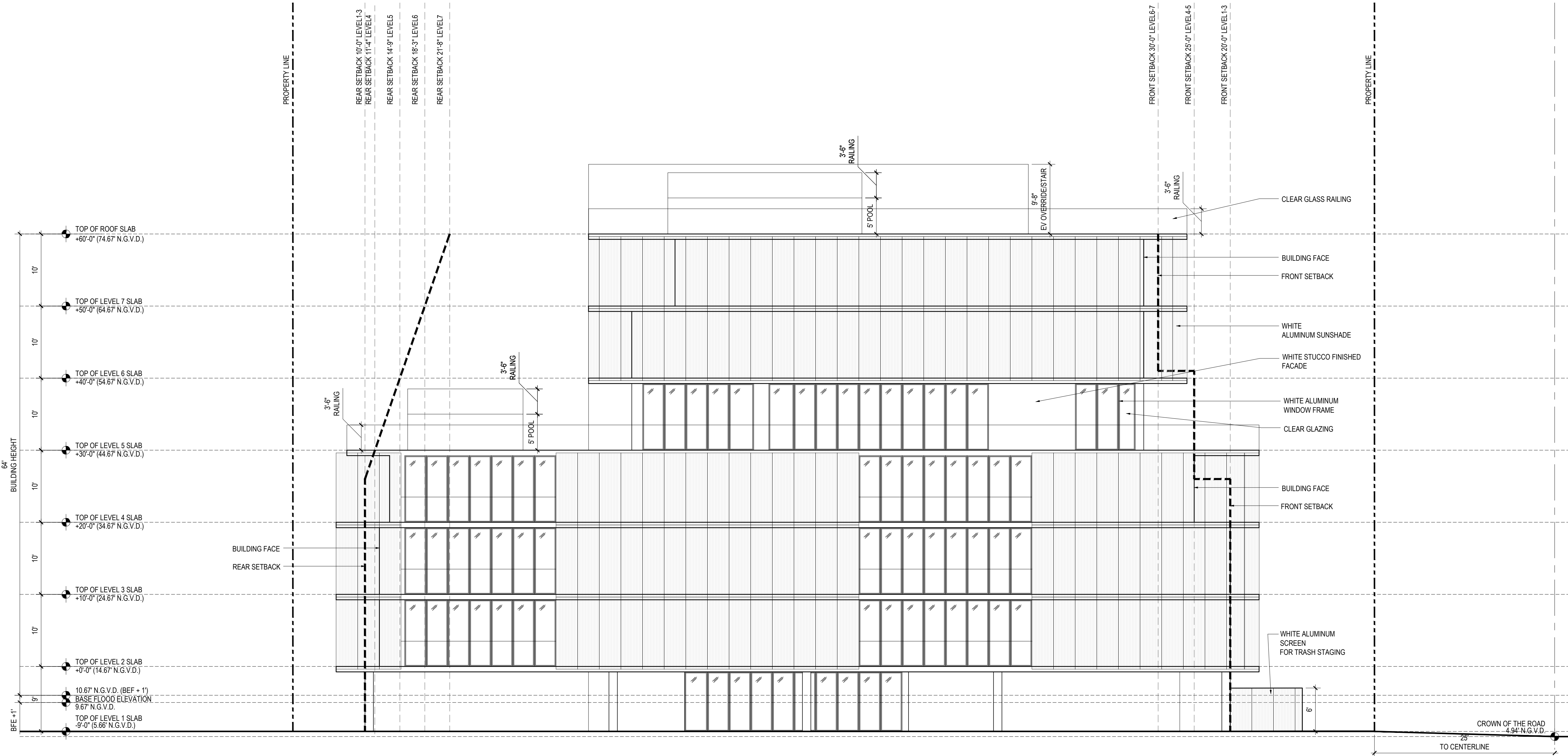
TITLE  
BUILDING ELEVATION  
EAST

DRAWING NO.

A-24

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1 BUILDING ELEVATION - EAST  
SCALE: 1/8" = 1'- 0"



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TEL AVIV-YAFO, 6816721, IL  
T: 972-50-888-2629

DESIGNER:  
PLISKIN ARCHITECTURE PLLC  
233 BROADWAY, SUITE 2030  
NEW YORK, NY 10279  
T: 212-999-9885

ARCHITECT:  
CARL LEVIN ARCHITECTURE + DESIGN  
3330 MARY STREET, SUITE 135  
COCONUT GROVE, FL 33133  
T: 305 442 3118

CIVIL:  
NGA ENGINEERS INC.  
11231 SW 88TH ST., UNIT D-114  
MIAMI, FL 33176  
T: 305 200 6701

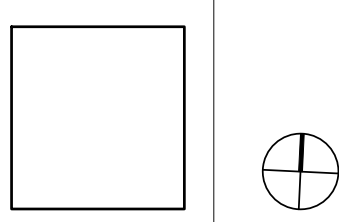
LANDSCAPE:  
STRATA LANDSCAPE ARCHITECTURE  
1906 TIGERTAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

LIGHTING:  
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MIAMI, FL 33146  
T: 305 444 8520

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DOB APPROVAL SCAN

KEY PLAN



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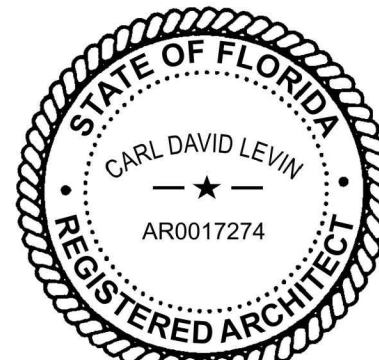
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PROJECT NUMBER  
2218

TITLE  
COLORED BUILDING ELEVATION  
NORTH

DRAWING NO.

A-31

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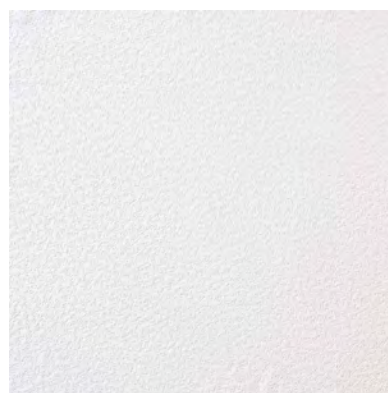
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(2) CLEAR GLASS RAILING



(3) ALUMINUM WINDOW FRAME COLOR WHITE



(4) EXTERIOR WALL STUCCO COLOR WHITE



(5) ALUMINUM SUNSHADE COLOR WHITE



(6) ALUMINUM SCREEN COLOR WHITE



(7) ALUMINUM FENCE COLOR WHITE

1 BUILDING ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"



BHI 1130-1140 100TH ST  
1130-1140 100TH STREET,  
BAY HARBOR ISLANDS, FL 33154

DEVELOPER:  
REDINDEX + PARTNERS  
138 PIONEER STREET  
BROOKLYN, NY 11231  
T: 718.852.8162

DESIGNER:  
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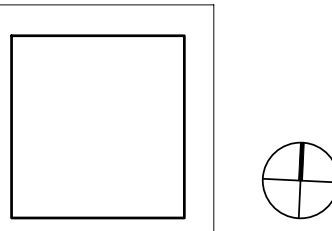
LANDSCAPE:  
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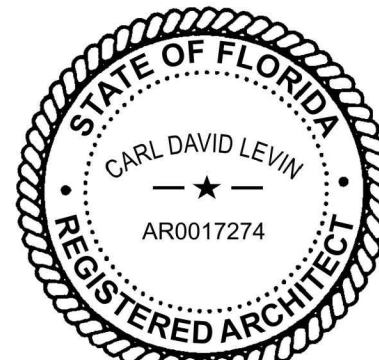
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TITLE  
COLORED BUILDING ELEVATION  
SOUTH

DRAWING NO.

A-32

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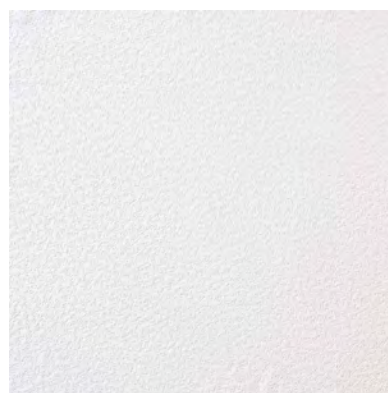
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1 BUILDING ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"



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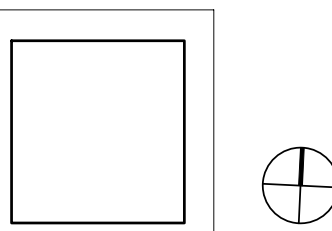
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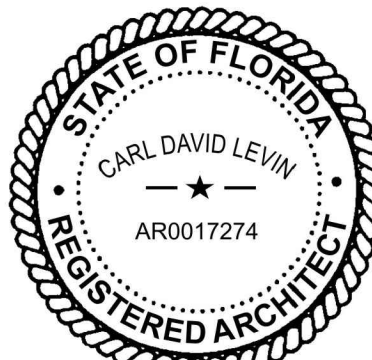
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WEST

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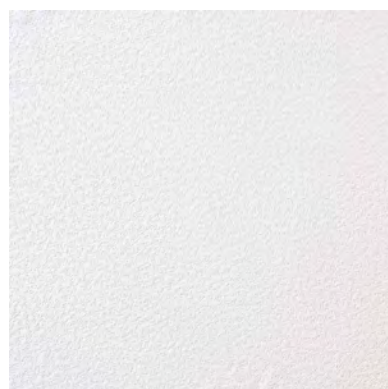
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1 BUILDING ELEVATION - WEST  
SCALE: 1/8" = 1'-0"



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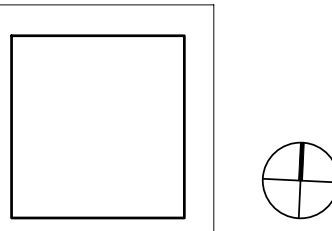
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DOB APPROVAL SCAN

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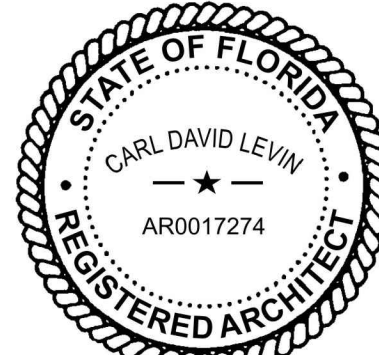
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TITLE  
COLORED BUILDING ELEVATION  
EAST

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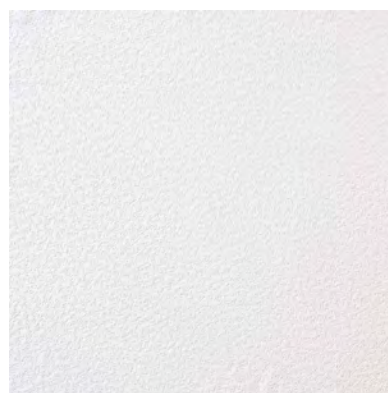
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1 BUILDING ELEVATION - EAST  
SCALE: 1/8" = 1'-0"



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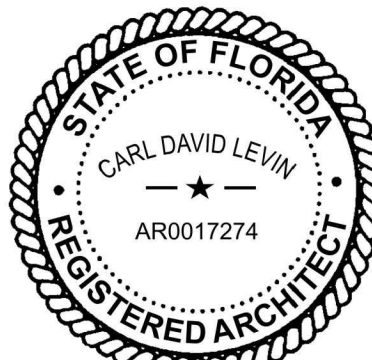
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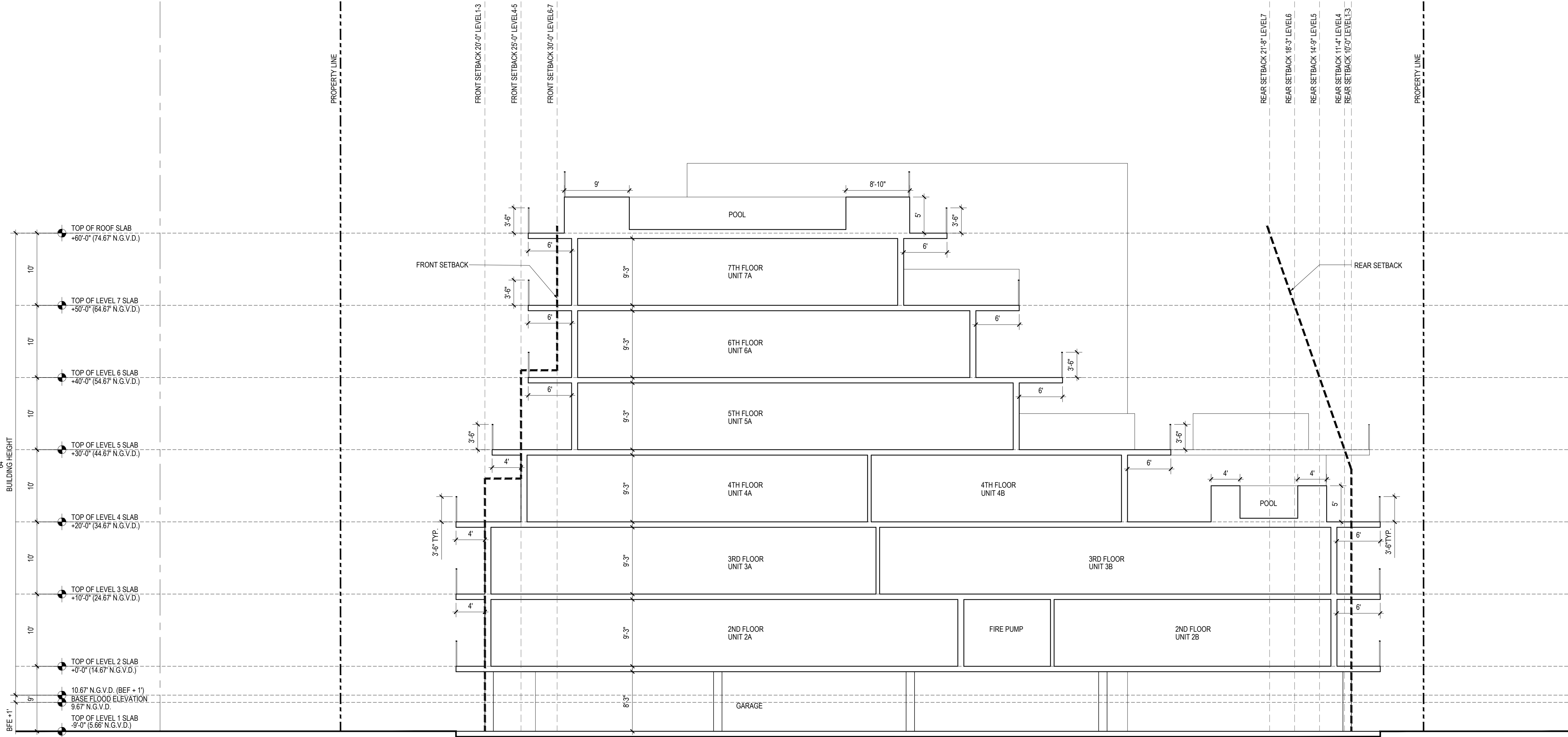
2218

TITLE

BUILDING ELEVATION  
SOUTH & NORTH

DRAWING NO.

A-41



1 BUILDING SECTION  
SCALE: 1/8" = 1'-0"

INDEX OF SHEETS

PD-1 COVER SHEET  
PD-2 PAVING GRADING & DRAINAGE PLANS & TYPICAL SECTIONS  
PD-3 DRAINAGE & PAVEMENT DETAILS

DEMOLITION NOTES:

- 1.- UNLESS OTHERWISE NOTED, ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF WORK SHALL BE REMOVED IN THEIR ENTIRETY.  
2.- ASPHALT PAVEMENT DESIGNATED FOR DEMOLITION SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED LOCATION. SAW-CUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.  
3.- IN GREEN AREAS, EXISTING LIMEROCK SUBBASE SHALL BE SCARIFIED TO ITS FULL DEPTH AND SHAPED TO THE LINES AND GRADES SHOWN IN THESE DRAWINGS.  
4.- ALL EXISTING DRAINAGE IMPROVEMENTS WITHIN THE LIMITS OF WORK, IF ANY, SHALL BE REMOVED, INCLUDING STRUCTURES, PIPES, AND FRENCH DRAINS.

TRENCH SAFETY ACT

CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE "TRENCH SAFETY ACT" AND ALL REQUIREMENTS OF O.S.H.A.

SITE DATA

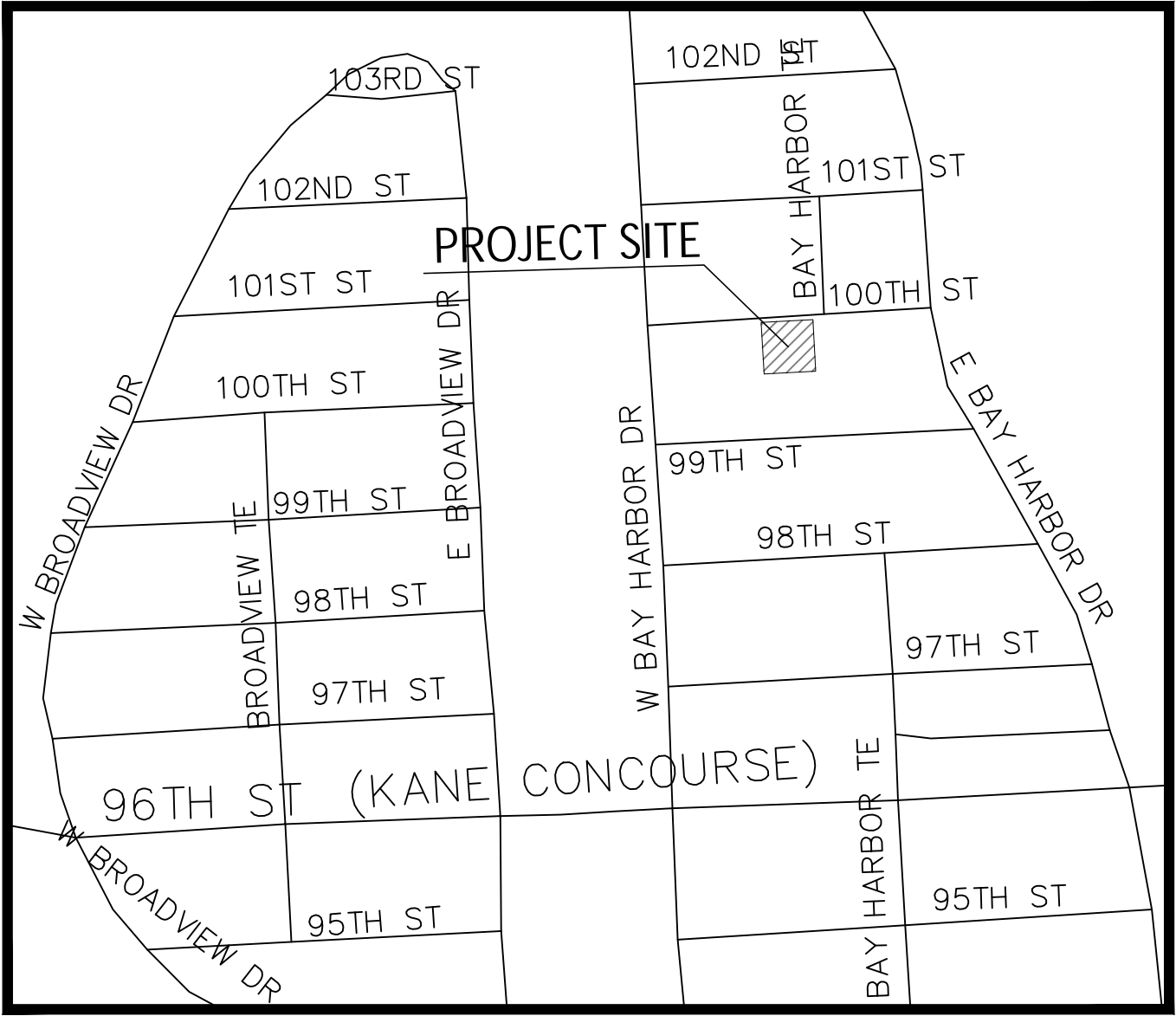
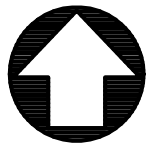
FLOOD ZONE FIRM MAP PANEL No. = 12086C0144L  
ZONE "AE" DATED: 09-11-2009  
BASE FLOOD ELEVATIONS = 9.0 NGVD & 8.0 NGVD  
WATER TABLE ELEVATION OCT. H.W. = (+) 2.0 NGVD  
FLOOD CRITERIA ELEVATION = (+) 5.00 NGVD

UNDERGROUND DIGGING NOTE:

CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXCAVATING. CONTRACTOR SHALL REMAIN 2 FEET AWAY FROM THE LOCATED MARKS WITH THE MACHINERY. IF IT'S NECESSARY TO EXCAVATE WITHIN THE 2 FOOT TOLERANCE ZONE, CONTRACTOR MUST HAND DIG, SOFT DIG, OR USE NON-INVASIVE MEANS TO EXPOSE AND PROTECT THE EXISTING FACILITIES AS REQUIRED BY LAW.

GENERAL NOTES:

1. VERTICAL CONTROL POINTS AND ALL ELEVATIONS ARE BASED ON 1929 NGVD DATUM.
2. THE CONTRACTOR SHALL CONFIRM ALL HORIZONTAL AND VERTICAL CONTROL POINTS PRIOR TO USE. THE CONTRACTOR SHALL CONFIRM ALIGNMENT AND ELEVATIONS OF ADJACENT WORK PRIOR TO BEGINNING CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE OWNER'S ATTENTION.
3. ALL EXISTING UTILITIES SHALL REMAIN IN SERVICE, UNLESS OTHERWISE NOTED.
4. USE EXTREME CAUTION NEAR ALL UTILITIES, CABLES, CONDUITS, AND MANHOLES. CONTRACTOR TO PROVIDE PROTECTION DURING CONSTRUCTION TO ASSURE SERVICE AT ALL TIMES. CONTRACTOR SHALL COORDINATE ALL SCHEDULES WITH FIELD REPRESENTATIVE PRIOR TO WORKING AROUND UTILITIES.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH CURRENT SITE CONDITIONS AND SHALL REPORT ANY DISCREPANCIES ON THE PLANS TO THE ENGINEER PRIOR TO COMMENCING WORK.
6. ALL CONSTRUCTION LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE WORK LIMIT LINES AS SHOWN ON THE PLANS AND SHALL WORK WITHIN THE LIMITS AND DIMENSIONS SHOWN. ALL PAVEMENT DIMENSIONS ARE TO THE EDGE OF PAVEMENT. ANY DEVIATION FROM THE PLANS SHALL REQUIRE WRITTEN APPROVAL FROM THE ENGINEER PRIOR TO EXECUTING WORK.
7. GRADING SHALL CONSIST OF ALL EXCAVATION, BACKFILLING, SHAPING AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION AND COMPLETION OF ALL WORK AND OTHER AREAS, ALL IN ACCORDANCE WITH THE LAYOUT AND GRADES SHOWN ON THESE DRAWINGS. SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND RESTORING ALL ADJACENT IMPROVEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON DRAWINGS OR NOT.
9. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED WORK, PRIOR TO THE START OF ANY CONSTRUCTION, TO ARRANGE FOR PHYSICAL LOCATION AND ELEVATION OF ALL UNDERGROUND IMPROVEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE UTILITY COMPANY SUFFICIENT NOTICE TO SCHEDULE ANY RELOCATION OF THEIR UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPORT OF ANY UTILITY THAT MAY BE IN CONFLICT WITH OR ENDANGERED BY THE PROPOSED WORK.
10. ALL OVERHEAD OR SURFACE STRUCTURES AND UTILITIES ENCOUNTERED ARE TO BE CAREFULLY PROTECTED FROM DAMAGE OR DISPLACEMENT. ALL DAMAGE TO SUCH STRUCTURES SHALL BE COMPLETELY REPAIRED WITHIN THE TIME FRAME OF THE CONSTRUCTION. THE OWNER RESERVES THE RIGHT TO REMEDY SUCH DAMAGE BY ORDERING OUTSIDE PARTIES TO MAKE SUCH REPAIRS AT THE EXPENSE OF THE CONTRACTOR.
11. THE CONTRACTOR MAY STORE EQUIPMENT AND MATERIALS WITHIN THE LIMITS OF THE SITE. THE CONTRACTOR SHALL MAINTAIN THESE AREAS IN A CLEAN AND ORDERLY CONDITION SO AS NOT TO CAUSE A NUISANCE IN THE AREA. THE CONTRACTOR SHALL RESTORE THE STORAGE AREA TO ITS ORIGINAL OR BETTER CONDITION, WITH ALL ITS APPURTENANCES, IN KIND, TO THE SATISFACTION OF THE ENGINEER AND OWNER.
12. COMPLETE "AS-BUILT" INFORMATION RELATIVE TO LOCATION, SIZE AND DEPTH OF THE PROPOSED PIPES, STRUCTURES, AND OTHER IMPROVEMENTS SHALL BE ACCURATELY RECORDED. THIS INFORMATION SHALL BE SUBMITTED TO THE ENGINEER AS A CADD FILE AND AS A DRAWING SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA AT THE CONTRACTOR'S EXPENSE.
13. THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON EXISTING UTILITY PLANS. NO SUBSURFACE VERIFICATION OF THE UTILITIES WAS MADE. SOME UTILITIES MAY NOT BE REFLECTED IN THESE PLANS. BEFORE EXCAVATION OR CONSTRUCTION, CONTACT THE SUNSHINE ONE CALL SERVICE #811 AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION. SUBSURFACE CASINGS, DUCT BANKS, FOOTINGS FOUNDATIONS, AND OTHER SUBSURFACE FEATURES ARE NOT LOCATED OR SHOWN HEREON ARE TO BE VERIFIED BY CONTRACTOR BEFORE COMMENCING ANY WORK.
14. PROVIDE 6 FOOT VINYL VISUAL BARRIER ON ALL FENCING AT CONSTRUCTION LIMITS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY AND MAKING THE REPAIRS OF EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS, DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY TO THE ORIGINAL CONDITIONS OR BETTER AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGED SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
16. EXISTING WATER METERS, UTILITY POLES & GUY WIRES AND OTHER UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED OR RELOCATED UNLESS OTHERWISE NOTED.
17. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, ORDINANCES OF TOWN OF BAY HARBOR STANDARDS AND DETAILS, MIAMI-DADE COUNTY STANDARDS AND DETAILS, MIAMI-DADE COUNTY DEPARTMENT OF ENVIRONMENTAL RESOURCES (DERM) STANDARDS AND DETAILS AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND DETAILS.



LOCATION MAP

SCALE 1" = 300'

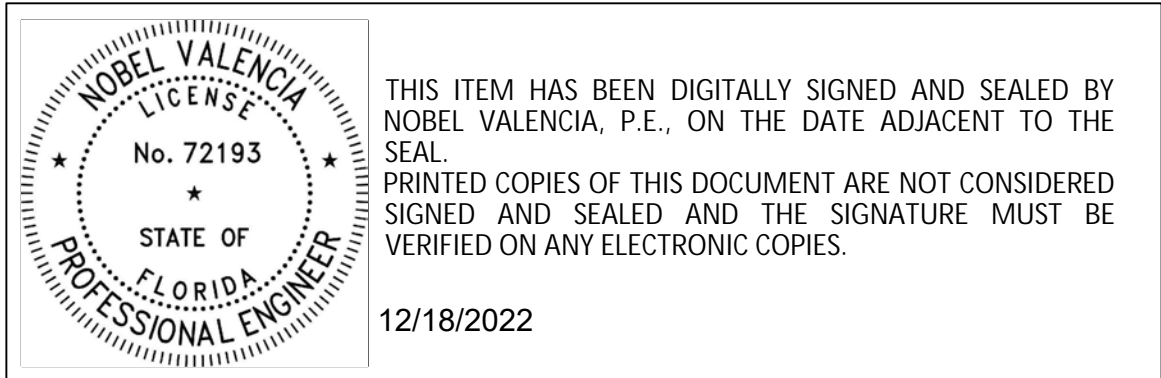
LEGAL DESCRIPTION:

LOTS 5 & 6, BLOCK 8, OF BAY HARBOR ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46 PAGE 5 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA



Civil Engineers

11231 SW 88th St.,  
Unit D-114,  
Miami, FL 33176  
TEL: (305) 200 6701  
EMAIL: nobel@ngaengineers.com



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NOBEL VALENCIA, P.E., ON THE DATE ADJACENT TO THE SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

12/18/2022

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the "MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS, AND HIGHWAYS", as adopted by the State of Florida Legislature, Chapter 72-328 F.S.



BHI 1130-1140 100TH ST  
1130-1140 100TH STREET,  
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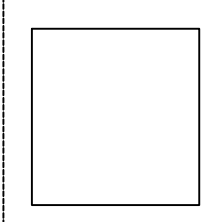
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Nobel Valencia, PE No. 72193

Civil Engineer

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01 ISSUE FOR SITE PLAN REVIEW, 12.29.2022

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Nobel Valencia, PE No. 72193

Civil Engineer

PROJECT NUMBER  
2218

TITLE

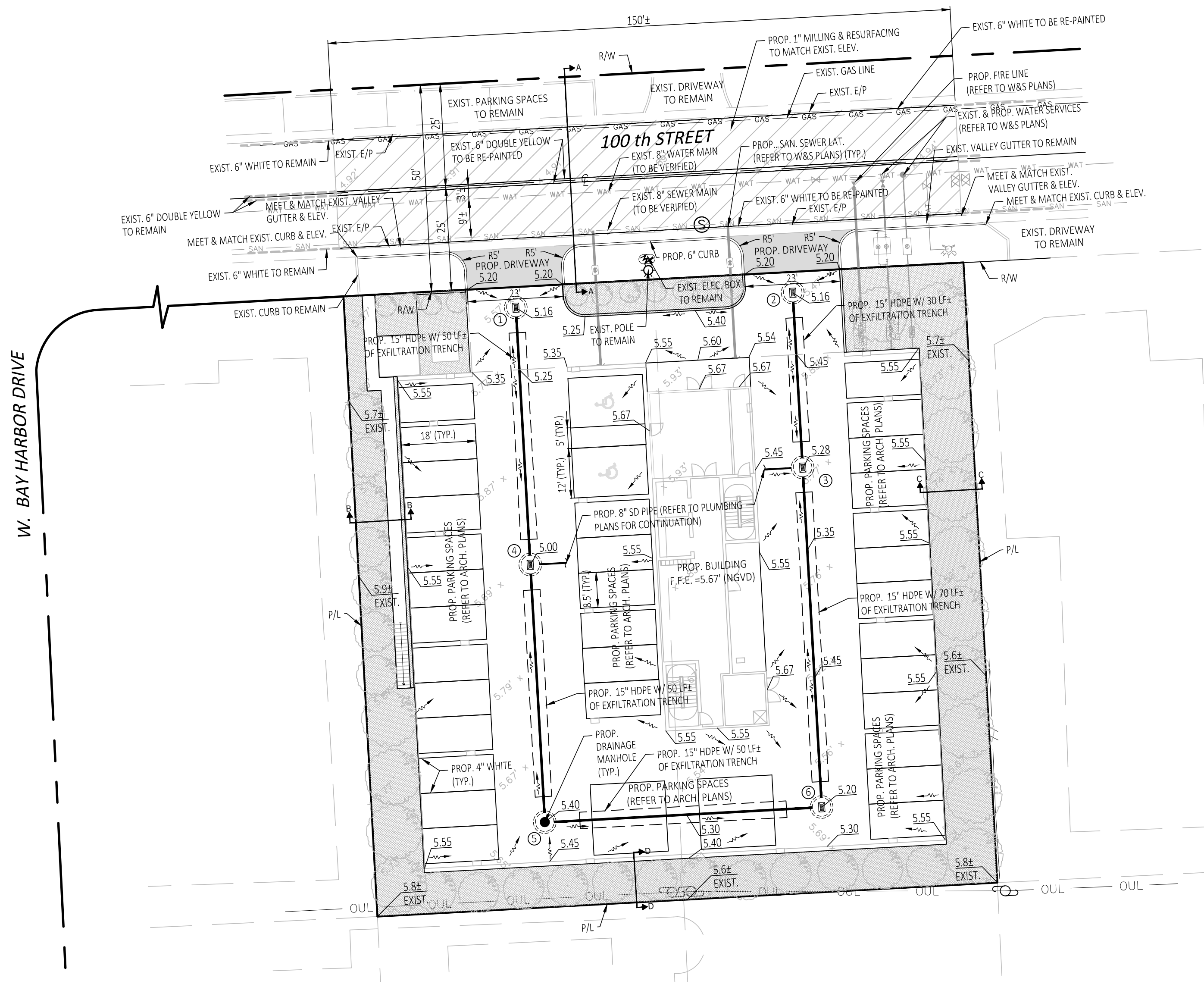
Paving, Grading,  
Drainage Plans &  
Typical Sections

DRAWING NO.

PD-2

PAGE No. 2 OF 3

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## PAVING, GRADING, DRAINAGE PLAN & DETAILS

SCALE: 1" = 20'

### LEGEND

- 9.0 PROPOSED ELEVATION (NGVD)
- x10.00 EXISTING ELEVATION (NGVD)
- DIRECTION OF FLOW
- 1 PROPOSED STRUCTURE NUMBER
- PROPOSED CATCH BASIN
- PROPOSED FRENCH DRAIN
- PROP. ASPHALT PAVEMENT
- PROP. 1" MILLING & RESURFACING
- PROP. CONCRETE PAVEMENT

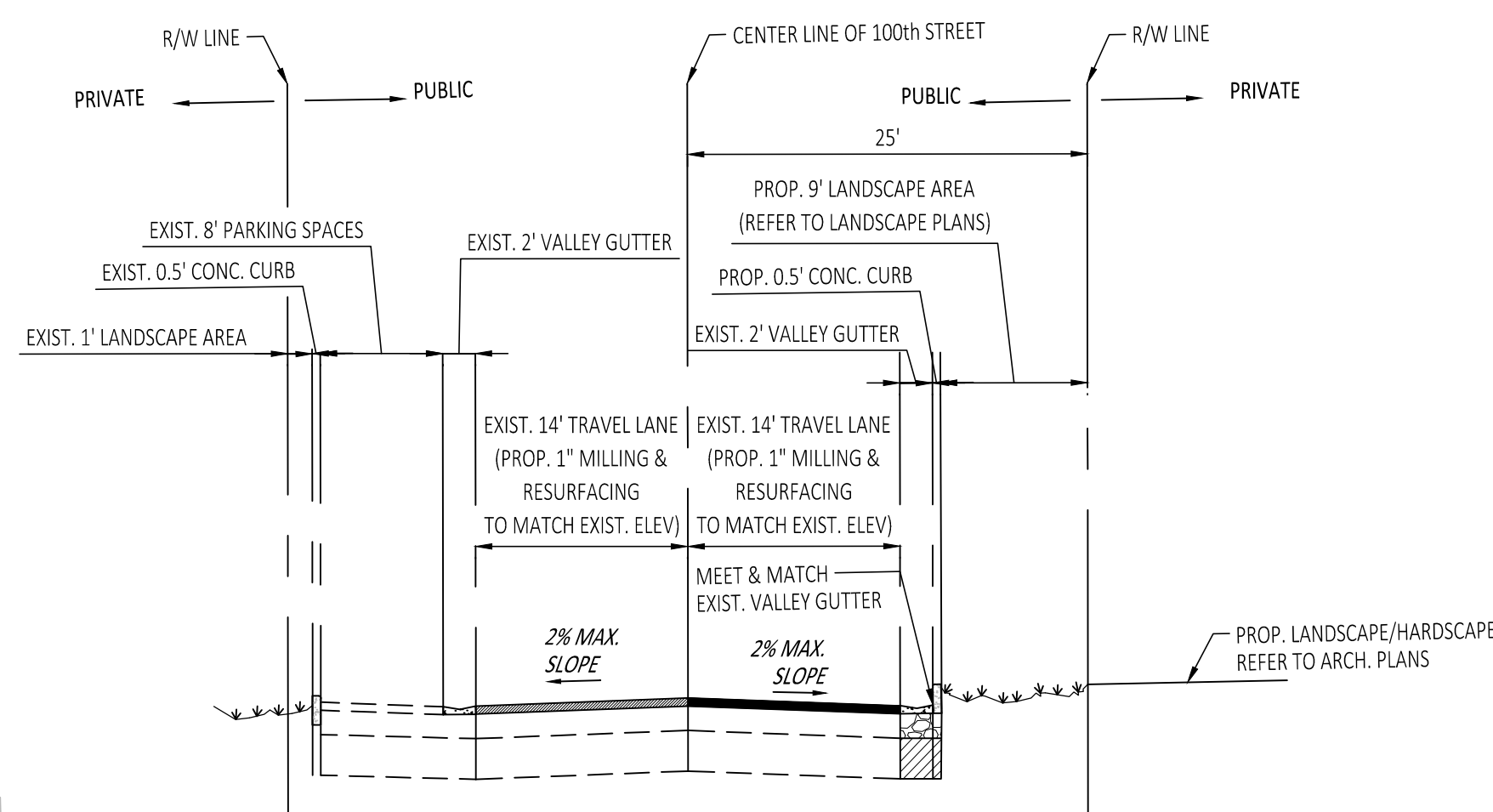
## DRAINAGE STRUCTURE SCHEDULE

STRUCT. No.	SIZE	RIM ELEV.	PIPE INVERT ELEV.				BOTTOM ELEV.	STRUCTURE TYPE
			N	W	S	E		
CB-1	48"	5.16	-	-	1.00*	-	(-)2.50	TYPE "P", USF 4700-6223
CB-2	48"	5.16	-	-	1.00*	-	(-)2.50	TYPE "P", USF 4700-6223
CB-3	48"	5.28	1.00*	1.50	1.00*	-	(-)2.50	TYPE "P", USF 4700-6223
CB-4	48"	5.00	1.00*	-	1.00*	1.50	(-)2.50	TYPE "P", USF 4700-6223
MH-5	48"	5.40	1.00*	-	-	1.00*	(-)2.50	TYPE "P", USF 310
CB-6	48"	5.20	1.00*	1.00*	-	-	(-)2.50	TYPE "P", USF 4700-6223

\* BAFFLE REQUIRED

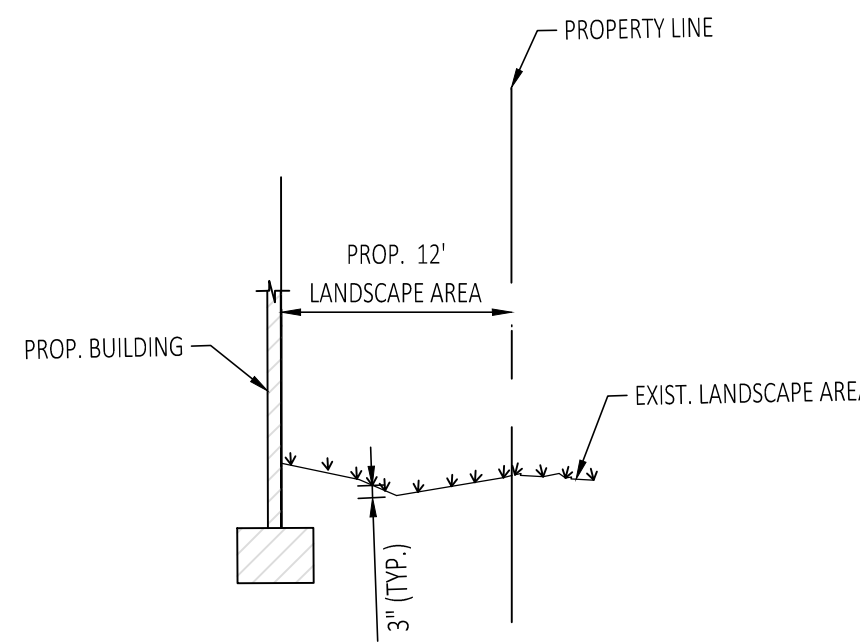
## SITE DATA

FLOOD ZONE FIRM MAP PANEL No. = 12086C0144L  
ZONE "AE" DATED: 09-11-2009  
BASE FLOOD ELEVATION = 9.0 NGVD & 8.0 NGVD  
WATER TABLE ELEVATION OCT. H.W. = (+) 2.0 NGVD  
FLOOD CRITERIA ELEVATION = (+) 5.00 NGVD



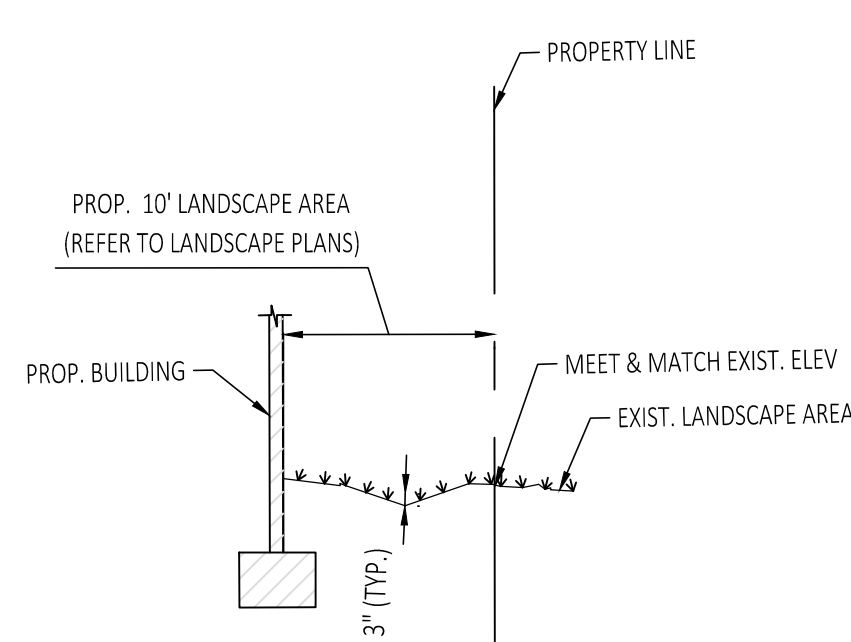
TYPICAL SECTION A-A

NOT TO SCALE



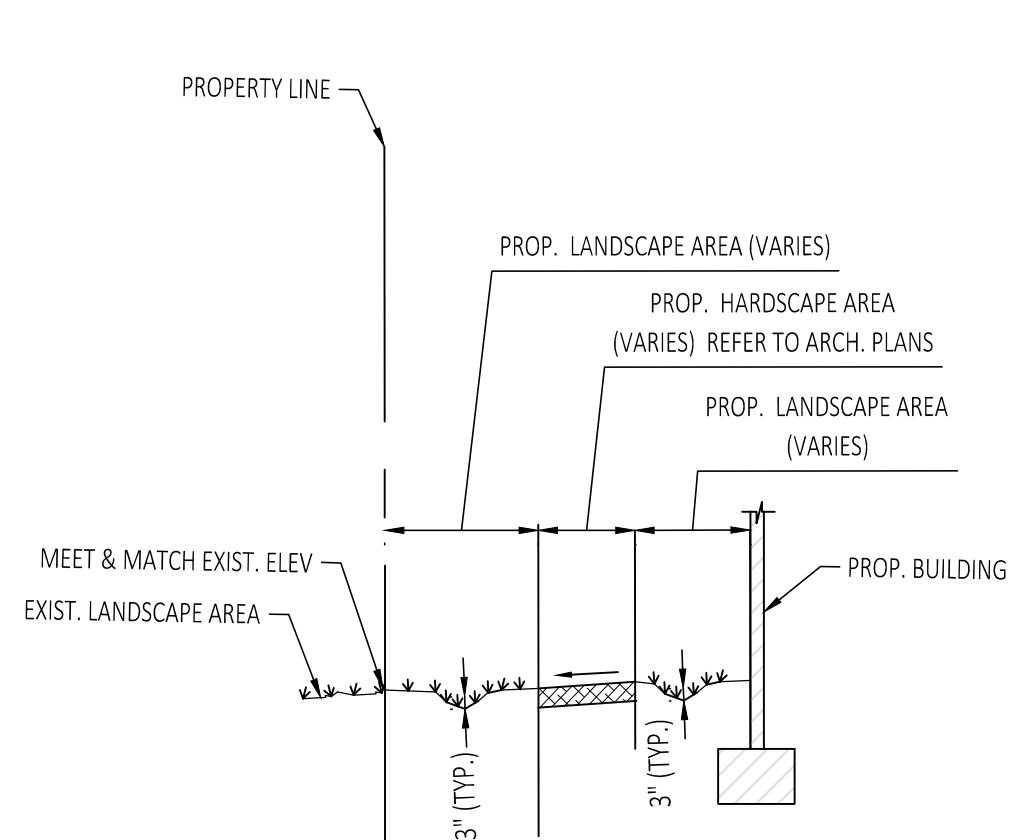
TYPICAL SECTION C-C

NOT TO SCALE



TYPICAL SECTION D-D

NOT TO SCALE



TYPICAL SECTION B-B

NOT TO SCALE

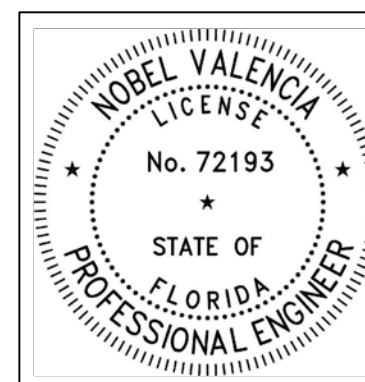
## TYPICAL SECTIONS

NOT TO SCALE



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PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

12/18/2022

## ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the "MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS, AND HIGHWAYS", as adopted by the State of Florida Legislature, Chapter 72-328 F.S.



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!







INDEX OF SHEETS

- WS-1 COVER SHEET
- WS-2 WATER & SEWER PLANS & DETAILS
- WS-3 WATER & SEWER DETAILS

DEMOLITION NOTES:

- 1.- UNLESS OTHERWISE NOTED, ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF WORK SHALL BE REMOVED IN THEIR ENTIRETY.
- 2.- ASPHALT PAVEMENT DESIGNATED FOR DEMOLITION SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED LOCATION. SAW-CUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
- 3.- IN GREEN AREAS, EXISTING LIMEROCK SUBBASE SHALL BE SCARIFIED TO ITS FULL DEPTH AND SHAPED TO THE LINES AND GRADES SHOWN IN THESE DRAWINGS.
- 4.- ALL EXISTING DRAINAGE IMPROVEMENTS WITHIN THE LIMITS OF WORK, IF ANY, SHALL BE REMOVED, INCLUDING STRUCTURES, PIPES, AND FRENCH DRAINS.

RER-DERM WATER-SEWER GENERAL NOTES:

- 1. A HORIZONTAL DISTANCE OF AT LEAST 6 FEET, AND PREFERABLY 10 FEET (OUTSIDE TO OUTSIDE), SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE SEWER PIPES AND WATER PIPES. THE MINIMUM HORIZONTAL SEPARATION CAN BE REDUCED TO 3 FEET FOR VACUUM-TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE TOP OF THE SEWER PIPE IS AT LEAST 6 INCHES BELOW THE BOTTOM OF THE WATER PIPE. WHEN THE ABOVE SPECIFIED HORIZONTAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF ONE OF THE FOLLOWING IS MET:
  - A) THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
  - B) THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
  - C) THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER PIPE.
- 2. A VERTICAL DISTANCE OF AT LEAST 12 INCHES (OUTSIDE TO OUTSIDE) SHALL BE MAINTAINED BETWEEN ANY WATER AND SEWER MAINS WITH SEWER PIPES PREFERABLY CROSSING UNDER WATER MAINS. THE MINIMUM VERTICAL SEPARATION CAN BE REDUCED TO 6 INCHES FOR VACUUM-TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE SEWER PIPE IS BELOW THE WATER MAIN. THE CROSSING SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 6 FEET FROM ALL JOINTS IN GRAVITY AND PRESSURE SEWER PIPES. THIS DISTANCE CAN BE REDUCED TO 3 FEET FOR VACUUM-TYPE SEWERS, WHEN THE ABOVE SPECIFIED VERTICAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF ONE OF THE FOLLOWING IS MET:
  - A) THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
  - B) THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
- 3. AIR RELEASE VALVES SHALL BE PROVIDED AT HIGH POINTS OF NEW FORCE MAIN SANITARY SEWERS.
- 4. GRAVITY SANITARY SEWERS CONSTRUCTED WITHIN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE C-900 PVC OR DUCTILE IRON PIPE. THE MAXIMUM ALLOWABLE EXFILTRATION RATE OF GRAVITY SANITARY SEWERS CONSTRUCTED IN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE:
  - A) RESIDENTIAL LAND USES. FIFTY (50) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE.
  - B) NON-RESIDENTIAL LAND USES. TWENTY (20) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE.
  - C) ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- 5. THE MAXIMUM ALLOWABLE EXFILTRATION RATE OF GRAVITY SANITARY SEWERS CONSTRUCTED OUTSIDE A PUBLIC WELLFIELD PROTECTION AREA SHALL BE ONE HUNDRED (100) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE. ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- 6. FORCEMAIN SANITARY SEWERS CONSTRUCTED WITHIN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE DUCTILE IRON, C-900 PVC, HDPE OR REINFORCED CONCRETE PRESSURE SEWER PIPES.
- 7. THE MAXIMUM ALLOWABLE EXFILTRATION/LEAKAGE RATE OF FORCE MAIN SANITARY SEWERS SHALL BE:
  - A) DUCTILE IRON, C-900 PVC, HDPE AND PVC PIPE. THE ALLOWABLE LEAKAGE RATE SPECIFIED IN AMERICAN WATER WORKS ASSOCIATION STANDARD (AWWAS) C600-82 AT A TEST PRESSURE OF 100 PSI FOR A DURATION OF NOT LESS THAN TWO (2) HOURS.
  - B) REINFORCED CONCRETE PRESSURE PIPE. HALF (1/2) THE ALLOWABLE LEAKAGE RATE SPECIFIED IN AWWA C600-82 AT A TEST PRESSURE OF 100 PSI FOR A DURATION OF NOT LESS THAN TWO (2) HOURS.
  - C) ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- 8. THE CONTRACTOR SHALL VERIFY NATURE, DEPTH, AND CHARACTER OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- 9. IN NO CASE SHALL A CONTRACTOR INSTALL UTILITY PIPES, CONDUITS, CABLES, ETC. IN THE SAME TRENCH ABOVE AN EXISTING WATER OR SEWER PIPE EXCEPT WHERE THEY CROSS.
- 10. IF ANY AREA OF THE WORK SITE IS FOUND TO CONTAIN BURIED SOLID WASTE AND/OR GROUND OR GROUND WATER CONTAMINATION, THE FOLLOWING SHALL APPLY:
  - A) ALL WORK IN THE AREA SHALL FOLLOW ALL APPLICABLE SAFETY REQUIREMENTS (E.G., OSHA, ETC.) AND NOTIFICATION MUST BE PROVIDED TO THE APPROPRIATE AGENCIES.
  - B) IMMEDIATELY NOTIFY THE ENVIRONMENTAL MONITORING AND RESTORATION DIVISION (EMRD). THE EMRD CAN BE CONTACTED AT (305) 372-6700.
  - C) IF CONTAMINATED SOILS AND/OR BURIED SOLID WASTE MATERIAL IS EXCAVATED DURING CONSTRUCTION, THEN THEY REQUIRE PROPER HANDLING AND DISPOSAL IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL REGULATIONS. BE ADVISED THAT THE LANDFILL OWNER/OPERATOR IS THE FINAL AUTHORITY ON DISPOSAL AND MAY HAVE REQUIREMENTS BEYOND THOSE PROVIDED BY HEREIN. IF DISPOSAL WITHIN A MIAMI-DADE COUNTY OWNED LANDFILL (CLASS I LANDFILL) IS APPROPRIATE AND SELECTED, PLEASE CONTACT THE MIAMI-DADE COUNTY DEPARTMENT OF SOLID WASTE MANAGEMENT AT (305) 594-6666 FOR INFORMATION.
  - D) THE REUSE OF CONTAMINATED SOILS THAT ARE NOT RETURNED TO THE ORIGINAL EXCAVATION REQUIRES PRIOR APPROVAL OF A SOIL MANAGEMENT PLAN FROM THE ENVIRONMENTAL MONITORING AND RESTORATION DIVISION. THE EMRD CAN BE CONTACTED AT (305) 372-6700.
- 11. PUMPS MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC) REQUIREMENTS FOR CLASS I, GROUP D, DIVISION 1 LOCATIONS (EXPLOSION PROOF).
- 12. THE CONTRACTOR IS ADVISED THAT A TREE REMOVAL/RELOCATION PERMIT MAY BE REQUIRED PRIOR TO THE REMOVAL AND/OR RELOCATION OF TREE RESOURCES. PRIOR TO REMOVING OR RELOCATING ANY TREES, THE CONTRACTOR SHALL NOTIFY THE TREE AND FOREST RESOURCES SECTION OF DERM AT (305) 372-6574 OR VIA E-MAIL AT: TFRS@MIAMIDADE.GOV , OR CONTACT THE MUNICIPALITY WITH TREE ORDINANCE JURISDICTION TO OBTAIN ANY REQUIRED PERMITS. THOSE TREES NOT INTERFERING WITH THE CONSTRUCTION SHALL BE PROTECTED IN PLACE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 24-49.5 OF THE MIAMI-DADE CODE.
- 13. PLEASE NOTE THAT THE DEMOLITION, REMOVAL, AND/OR DISTURBANCE OF EXISTING UNDERGROUND UTILITIES THAT CONTAIN ASBESTOS- CEMENT PIPES (ACP) ARE SUBJECT TO THE PROVISIONS OF 40 CFR-61 SUBPART M. THEREFORE, PURSUANT TO THE PROVISIONS OF 40 CFR-61-145, A NOTICE OF DEMOLITION OR ASBESTOS RENOVATION FORM MUST BE FILED WITH THE AIR QUALITY MANAGEMENT DIVISION (AQMD) OF DERM, AT LEAST TEN (10) WORKING DAYS PRIOR TO STARTING OF ANY WORK. NOTE THAT THE BACKFILLING AND BURIAL OF CRUSHED ACP WOULD CAUSE THESE LOCATIONS TO BE CONSIDERED ACTIVE DISPOSAL SITES AND SUBJECT TO 40 CFR-61.154, AND 40 CFR-61.151 A YEAR AFTER PROJECT COMPLETION. EXISTING STANDARD OPERATING PROCEDURES, AS WELL AS APPLICABLE FEDERAL, STATE AND LOCAL REGULATORY CRITERIA, MUST BE FOLLOWED AND IMPLEMENTED TO MINIMIZE ANY POTENTIAL RELEASE OF FUGITIVE EMISSIONS, ESPECIALLY DURING PROJECT CONSTRUCTION ACTIVITIES. THE AQMD CAN BE CONTACTED VIA EMAIL AT ASBESTOS@MIAMIDADE.GOV OR (305) 372-6925.

GENERAL NOTES:

- 1. VERTICAL CONTROL POINTS AND ALL ELEVATIONS ARE BASED ON 1929 NGVD DATUM.
- 2. THE CONTRACTOR SHALL CONFIRM ALL HORIZONTAL AND VERTICAL CONTROL POINTS PRIOR TO USE. THE CONTRACTOR SHALL CONFIRM ALIGNMENT AND ELEVATIONS OF ADJACENT WORK PRIOR TO BEGINNING CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE OWNER'S ATTENTION.
- 3. ALL EXISTING UTILITIES SHALL REMAIN IN SERVICE, UNLESS OTHERWISE NOTED.
- 4. USE EXTREME CAUTION NEAR ALL UTILITIES, CABLES, CONDUITS, AND MANHOLES. CONTRACTOR TO PROVIDE PROTECTION DURING CONSTRUCTION TO ASSURE SERVICE AT ALL TIMES. CONTRACTOR SHALL COORDINATE ALL SCHEDULES WITH FIELD REPRESENTATIVE PRIOR TO WORKING AROUND UTILITIES.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH CURRENT SITE CONDITIONS AND SHALL REPORT ANY DISCREPANCIES ON THE PLANS TO THE ENGINEER PRIOR TO COMMENCING WORK.
- 6. ALL CONSTRUCTION LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE WORK LIMIT LINES AS SHOWN ON THE PLANS AND SHALL WORK WITHIN THE LIMITS AND DIMENSIONS SHOWN. ALL PAVEMENT DIMENSIONS ARE TO THE EDGE OF PAVEMENT. ANY DEVIATION FROM THE PLANS SHALL REQUIRE WRITTEN APPROVAL FROM THE ENGINEER PRIOR TO EXECUTING WORK.
- 7. GRADING SHALL CONSIST OF ALL EXCAVATION, BACKFILLING, SHAPING AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION AND COMPLETION OF ALL WORK AND OTHER AREAS, ALL IN ACCORDANCE WITH THE LAYOUT AND GRADES SHOWN ON THESE DRAWINGS. SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
- 8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND RESTORING ALL ADJACENT IMPROVEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON DRAWINGS OR NOT.
- 9. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED WORK, PRIOR TO THE START OF ANY CONSTRUCTION, TO ARRANGE FOR PHYSICAL LOCATION AND ELEVATION OF ALL UNDERGROUND IMPROVEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE UTILITY COMPANY SUFFICIENT NOTICE TO SCHEDULE ANY RELOCATION OF THEIR UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPORT OF ANY UTILITY THAT MAY BE IN CONFLICT WITH OR ENDANGERED BY THE PROPOSED WORK.
- 10. ALL OVERHEAD OR SURFACE STRUCTURES AND UTILITIES ENCOUNTERED ARE TO BE CAREFULLY PROTECTED FROM DAMAGE OR DISPLACEMENT. ALL DAMAGE TO SUCH STRUCTURES SHALL BE COMPLETELY REPAIRED WITHIN THE TIME FRAME OF THE CONSTRUCTION. THE OWNER RESERVES THE RIGHT TO REMEDY SUCH DAMAGE BY ORDERING OUTSIDE PARTIES TO MAKE SUCH REPAIRS AT THE EXPENSE OF THE CONTRACTOR.
- 11. THE CONTRACTOR MAY STORE EQUIPMENT AND MATERIALS WITHIN THE LIMITS OF THE SITE. THE CONTRACTOR SHALL MAINTAIN THESE AREAS IN A CLEAN AND ORDERLY CONDITION SO AS NOT TO CAUSE A NUISANCE IN THE AREA. THE CONTRACTOR SHALL RESTORE THE STORAGE AREA TO ITS ORIGINAL OR BETTER CONDITION, WITH ALL ITS APPURTENANCES, IN KIND, TO THE SATISFACTION OF THE ENGINEER AND OWNER.
- 12. COMPLETE "AS-BUILT" INFORMATION RELATIVE TO LOCATION, SIZE AND DEPTH OF THE PROPOSED PIPES, STRUCTURES, AND OTHER IMPROVEMENTS SHALL BE ACCURATELY RECORDED. THIS INFORMATION SHALL BE SUBMITTED TO THE ENGINEER AS A CADD FILE AND AS A DRAWING SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA AT THE CONTRACTOR'S EXPENSE.
- 13. THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON EXISTING UTILITY PLANS. NO SUBSURFACE VERIFICATION OF THE UTILITIES WAS MADE. SOME UTILITIES MAY NOT BE REFLECTED IN THESE PLANS. BEFORE EXCAVATION OR CONSTRUCTION, CONTACT THE SUNSHINE ONE CALL SERVICE #811 AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION. SUBSURFACE CASINGS, DUCT BANKS, FOOTINGS FOUNDATIONS, AND OTHER SUBSURFACE FEATURES ARE NOT LOCATED OR SHOWN HEREON ARE TO BE VERIFIED BY CONTRACTOR BEFORE COMMENCING ANY WORK.
- 14. PROVIDE 6 FOOT VINYL VISUAL BARRIER ON ALL FENCING AT CONSTRUCTION LIMITS.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY AND MAKING THE REPAIRS OF EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS, DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY TO THE ORIGINAL CONDITIONS OR BETTER AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGED SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
- 16. EXISTING WATER METERS, UTILITY POLES & GUY WIRES AND OTHER UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED OR RELOCATED UNLESS OTHERWISE NOTED.
- 17. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, ORDINANCES OF TOWN OF BAY HARBOR ISLANDS STANDARDS AND DETAILS, MIAMI-DADE COUNTY STANDARDS AND DETAILS AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND DETAILS.
- 18. PAVEMENT RESTORATION SHALL BE IN ACCORDANCE WITH MIAMI-DADE COUNTY PUBLIC WORKS STANDARD DETAILS DETAIL R-21.1.

THE FOLLOWING ARE REQUIREMENTS PER DEPARTMENT OF HEALTH:

WATER MAIN HORIZONTAL SEPARATIONS

SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE BETWEEN WATER MAINS AND, STORM SEWERS, STORMWATER FORCE MAINS, OR RECLAIMED WATER LINES. SHALL BE 3 FT MINIMUM.

BETWEEN WATER MAINS AND VACUUM TYPE SEWER PREFERABLY 10 FT. AND AT LEAST 3 FT. MINIMUM.

GRAVITY OR PRESSURE SANITARY SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER PREFERABLY 10 FT. AND AT LEAST 6 FT. MAY BE REDUCED TO 3 FT. WHERE BOTTOM OR WATER MAINS IS AT LEAST 6 INCHES ABOVE TOP OF SEWER.

10 FT. TO ANY PART OF ON-SITE SEWER TREATMENT OR DISPOSAL SYSTEM.

WATER MAIN VERTICAL SEPARATIONS

SEPARATIONS BETWEEN WATER MAINS AND GRAVITY SEWER, VACUUM TYPE SEWER, OR STORM SEWERS, TO BE PREFERABLY 12 INCHES, OR AT LEAST 6 INCHES ABOVE, OR AT LEAST 12 INCHES IF BELOW.\*

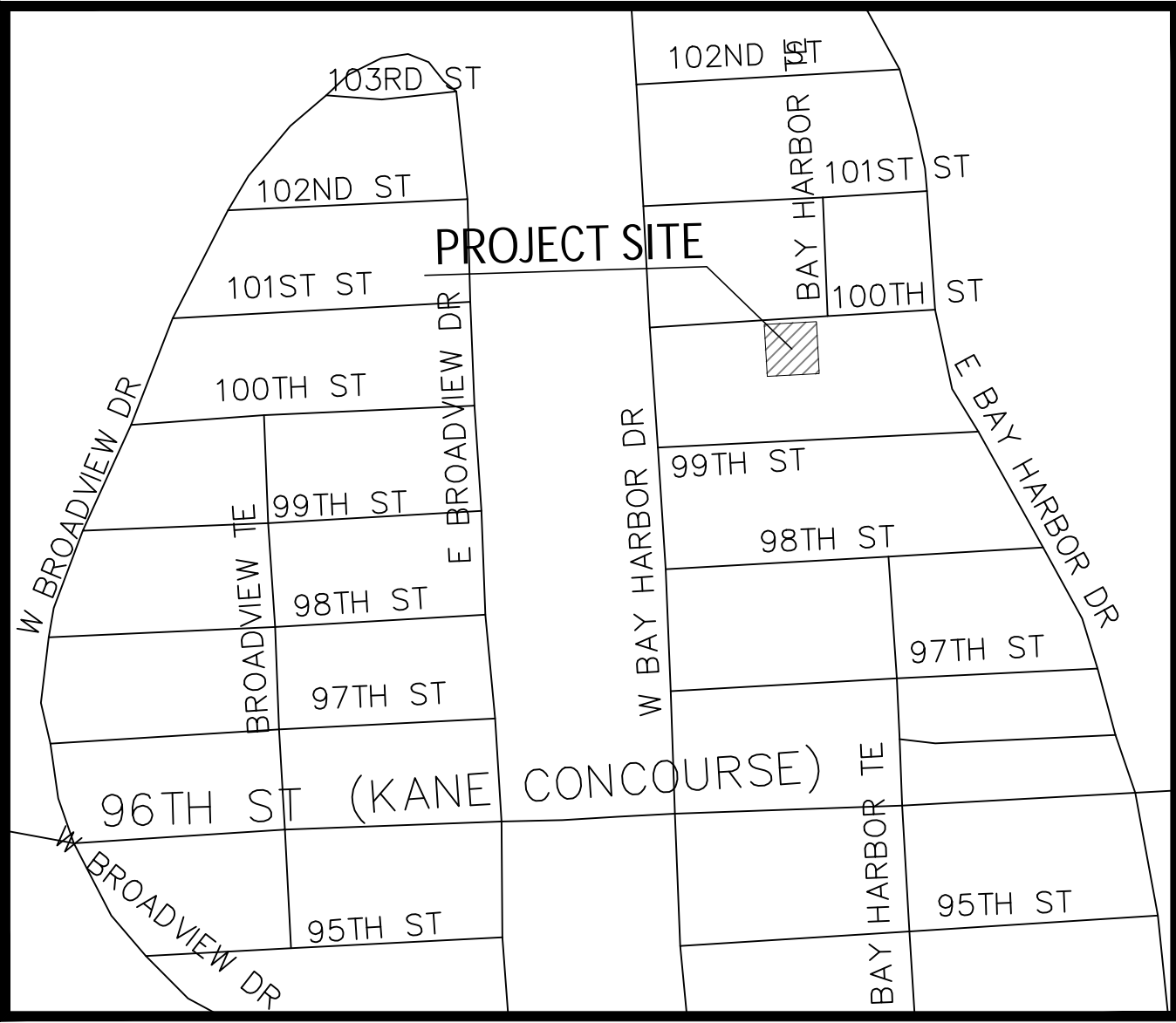
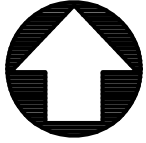
PRESSURE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR RECLAIMED WATER, AT LEAST 12 INCHES ABOVE OR BELOW.\*

\*NOTE: CENTER 1-FULL LENGTH OF WATER MAIN PIPE AT CROSSINGS; ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM, STORM OR STORM FORCE MAINS. AT LEAST 6 FEET FROM JOINTS IN GRAVITY OR PRESSURE SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER.

NOTE:

FOR ALL PROJECTS WHERE REMOVAL OF UTILITY LINES IS PROPOSED:

- 1. ALL EXISTING UTILITIES BEING REMOVED AND/OR RELOCATED MUST REMAIN ACTIVE AND IN SERVICE, UNTIL SUCH TIME WHEN NEW REPLACING UTILITIES HAVE BEEN INSTALLED, IN SERVICE, ACCEPTED BY THE DEPARTMENT AND ALL RELATED SERVICES FROM THE EXISTING MAINS HAVE BEEN TRANSFERRED TO THE NEW ONES, BY A LICENSED CONTRACTOR UNDER THE SUPERVISION OF WASD LICENSED OPERATOR AND WASD DONATIONS INSPECTOR UNDER THE SCOPE AND JURSDICTION OF THE CONTRACTOR'S RIGHT-OF-WAY PERMIT.
- 2. ALL WATER AND/OR SEWER FACILITIES LOCATED IN PRIVATE PROPERTY SHALL BE REMOVED AFTER ALL INSTALLED SERVICES FROM THEM HAVE BEEN TRANSFERRED TO THE ALREADY INSTALLED AND IN SERVICE NEW MAINS. ANY ASSOCIATED EXCLUSIVE EASEMENTS SHALL BE CLOSED AND RELEASED AFTER THE REMOVAL OF THE EXISTING WATER AND/OR SEWER FACILITIES



LOCATION MAP  
SCALE 1" = 300'

LEGAL DESCRIPTION:

LOTS 5 & 6, BLOCK 8, OF BAY HARBOR ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46 PAGE 5 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

TRENCH SAFETY ACT:

CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE "TRENCH SAFETY ACT", AND ALL REQUIREMENTS OF O.S.H.A.

UNDERGROUND DIGGING NOTE:

CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXCAVATING. CONTRACTOR SHALL REMAIN 2 FEET AWAY FROM THE LOCATED MARKS WITH THE MACHINERY. IF IT'S NECESSARY TO EXCAVATE WITHIN THE 2 FOOT TOLERANCE ZONE, CONTRACTOR MUST HAND DIG, SOFT DIG, OR USE NON-INVASIVE MEANS TO EXPOSE AND PROTECT THE EXISTING FACILITIES AS REQUIRED BY LAW.



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HAYESCOO STREET 2 #P121  
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CIVIL:  
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11231 SW 88TH ST., UNIT D-114  
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T: 305 200 6701

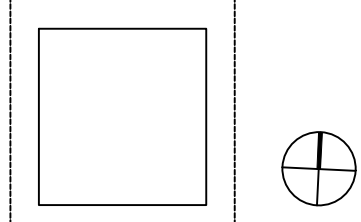
LANDSCAPE:  
STRATA LANDSCAPE ARCHITECTURE  
1906 TIGERLAIL AVE  
MIAMI, FL 33133  
T: 305 747 9336

LIGHTING:  
POWER & LIGHTING SYSTEMS, INC.  
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MIAMI, FL 33146  
T: 305 444 8520

DOB APPROVAL STAMP

DOB APPROVAL SCAN

KEY PLAN



PRINTING

DATE

01 ISSUE FOR SITE PLAN REVIEW , 12.29.2022

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DRAWN BY

A.B.C.

CHECK BY

Nobel Valencia, PE No. 72193

Civil Engineer

PROJECT NUMBER

2218

TITLE

Cover Sheet

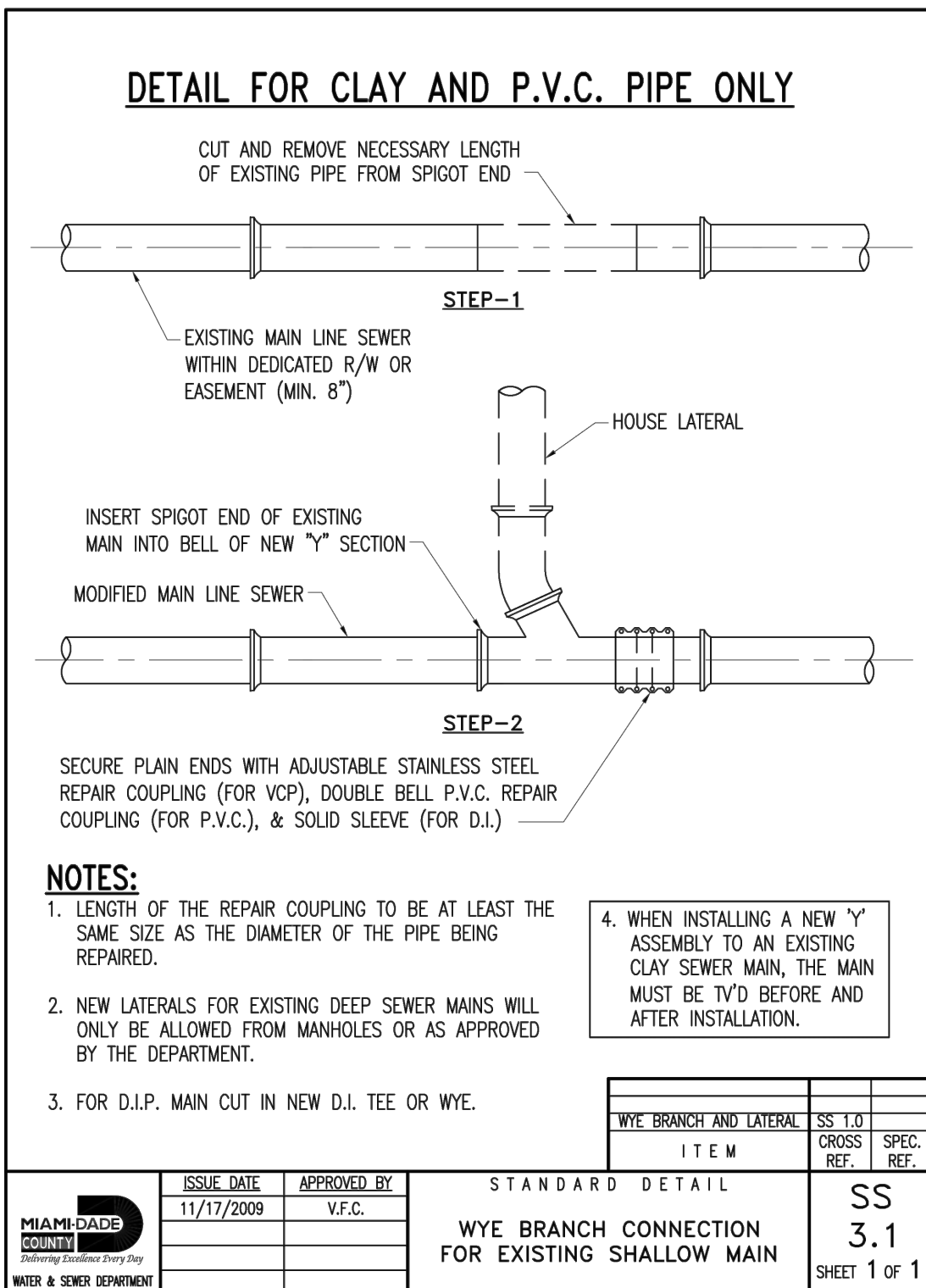
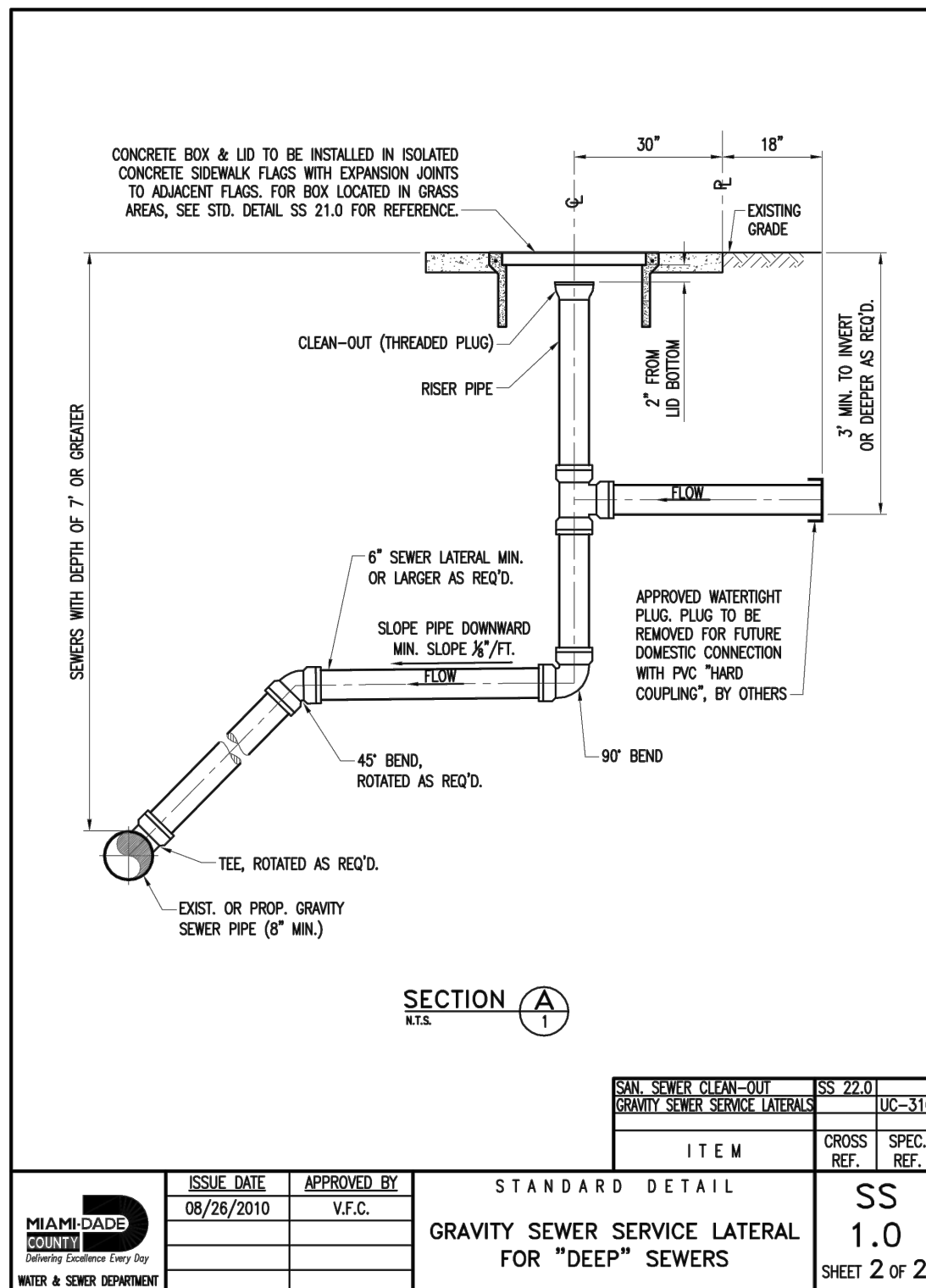
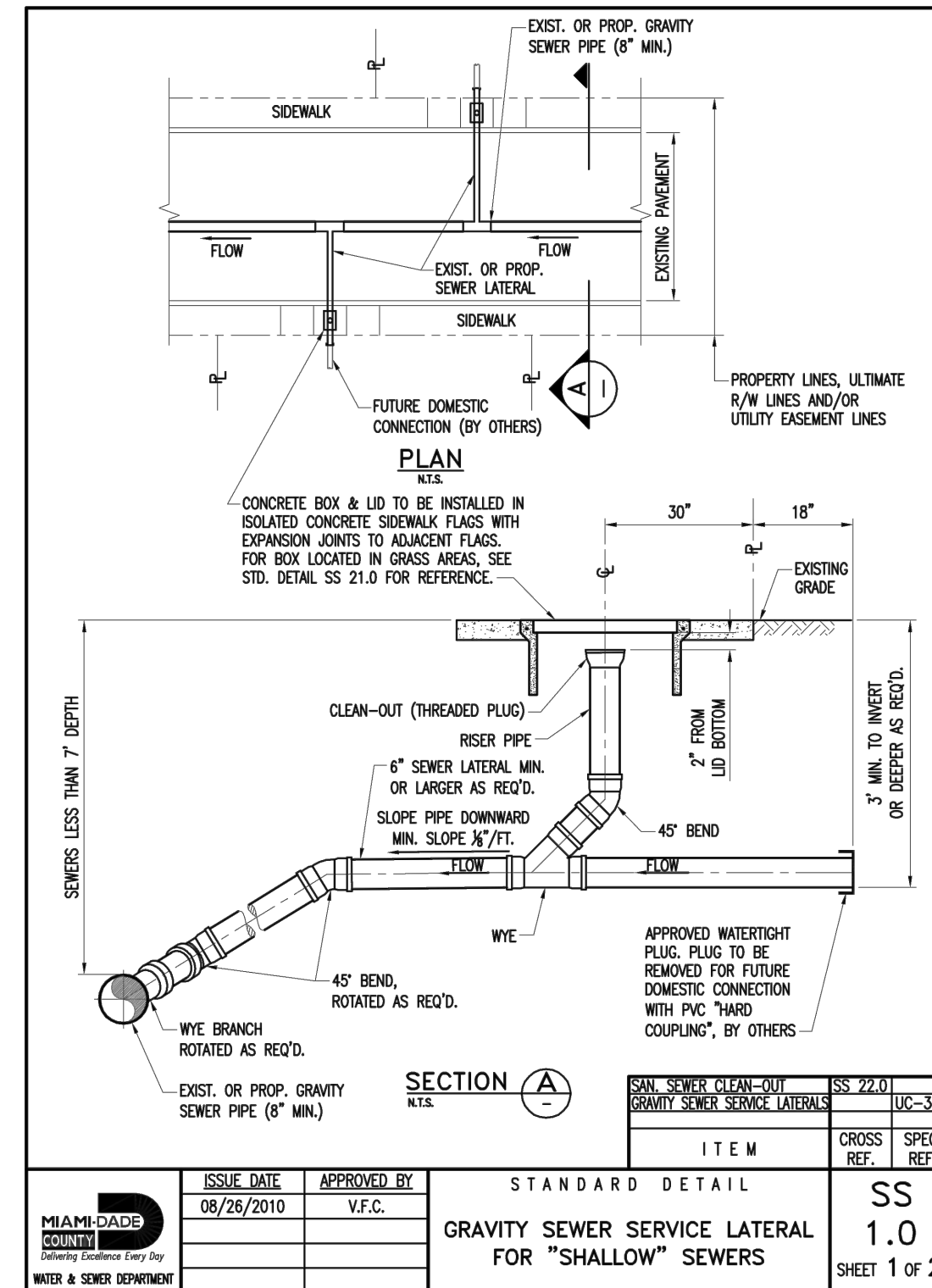
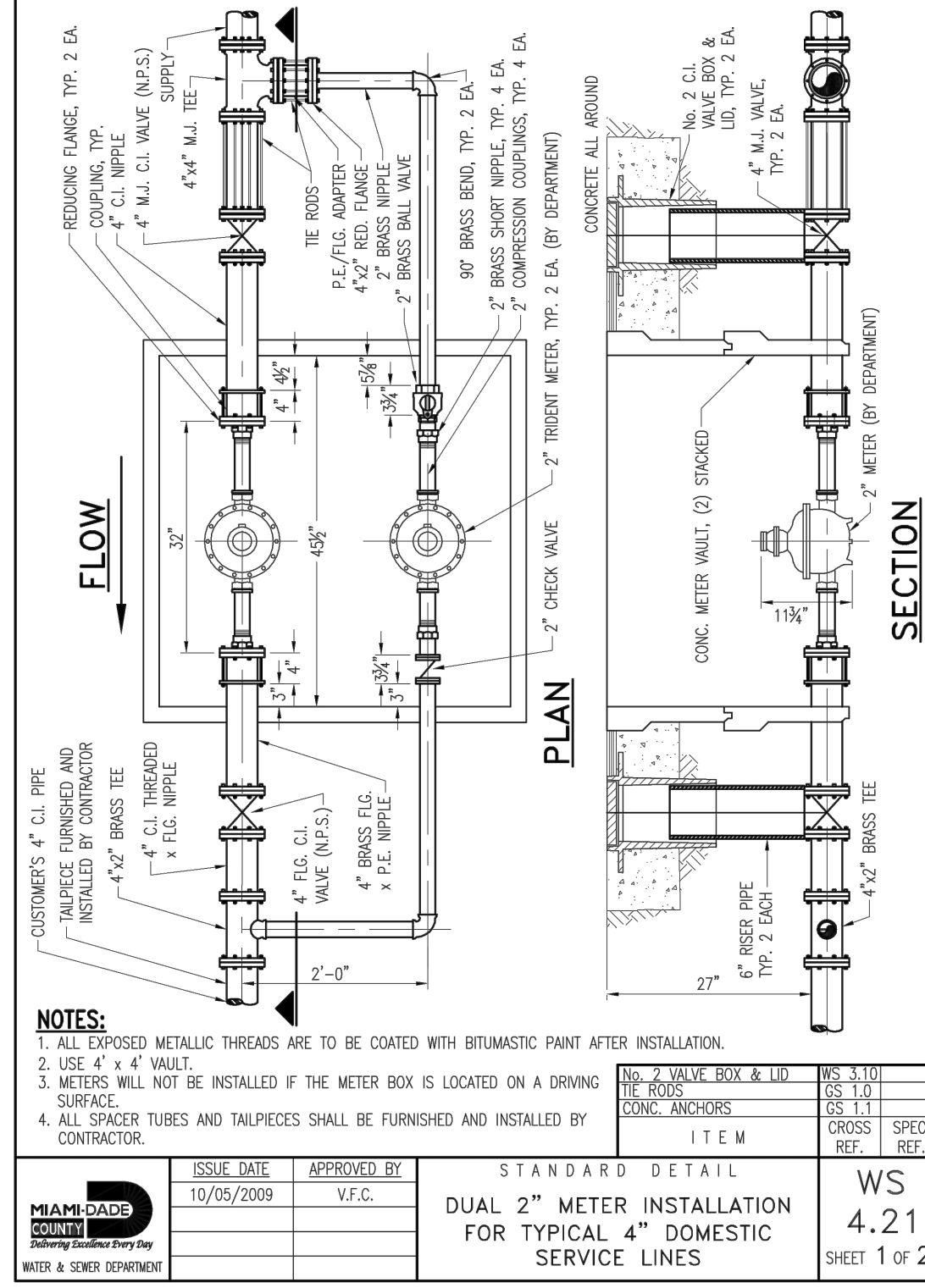
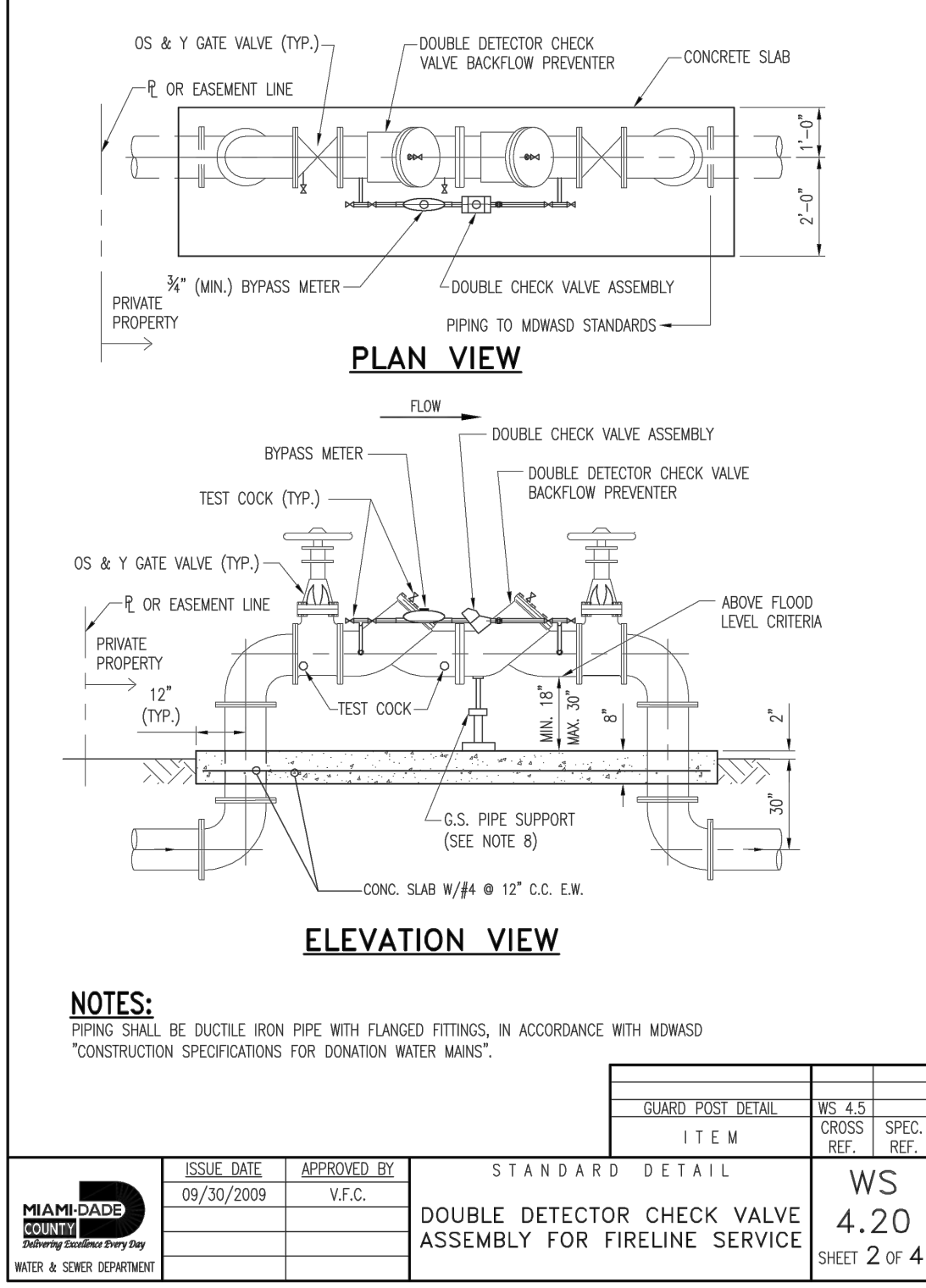
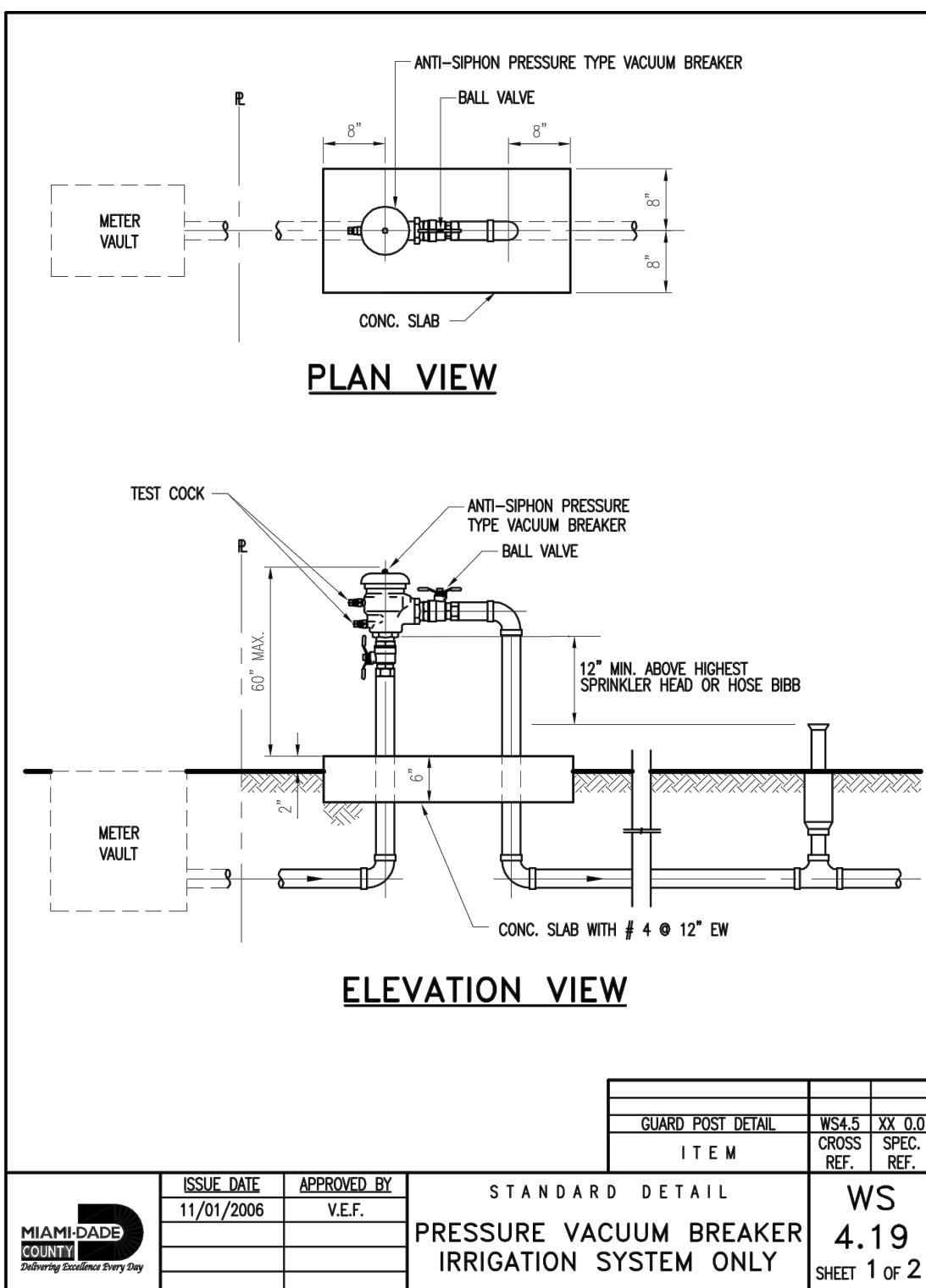
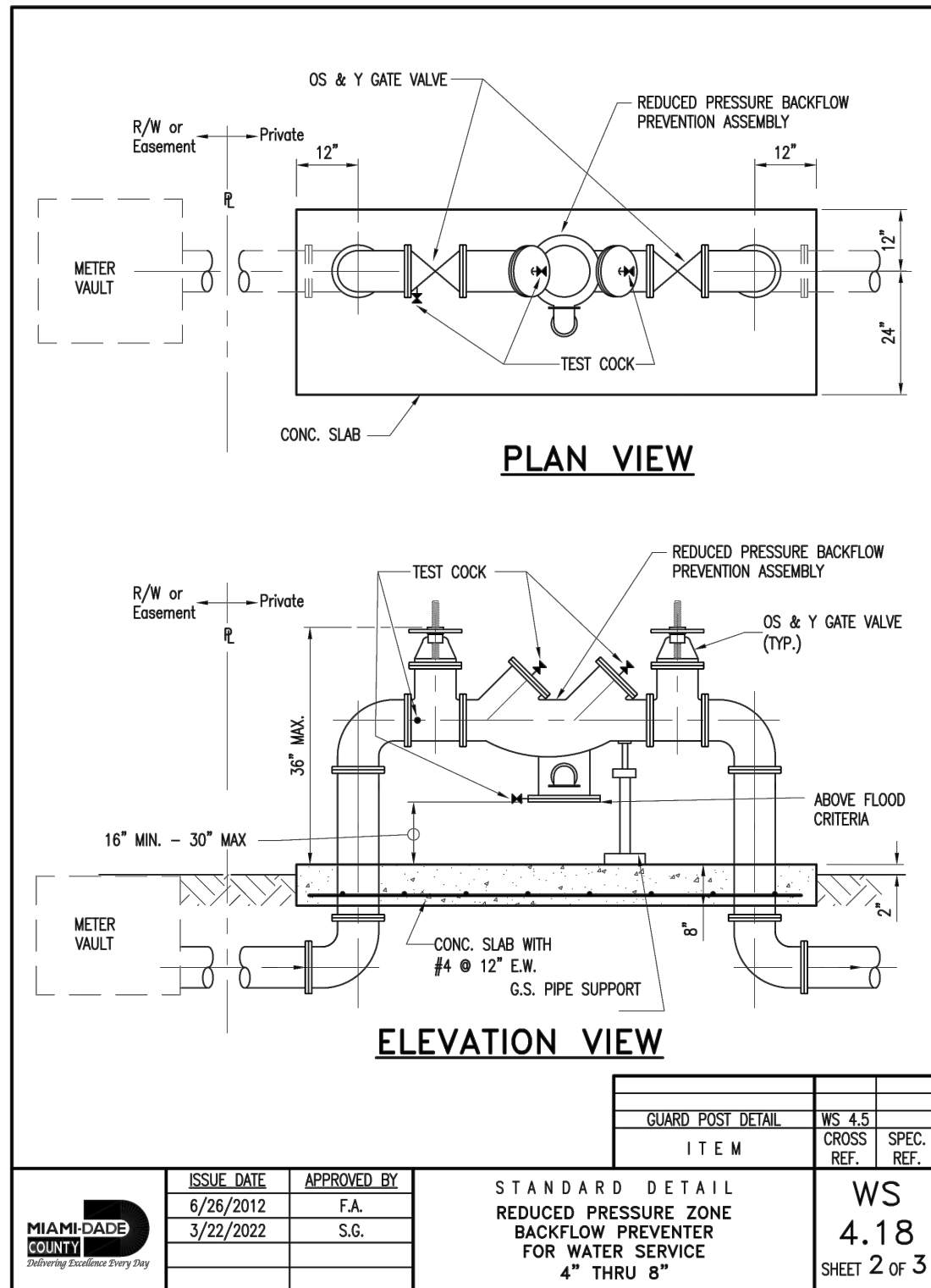
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WS-1



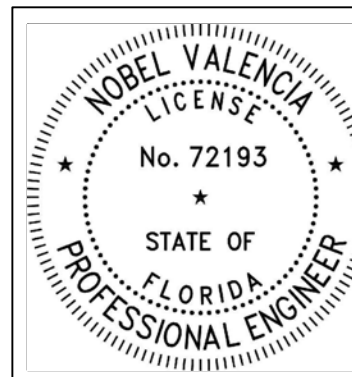






## WATER & SEWER DETAILS

NOT TO SCALE



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NOBEL VALENCIA, P.E., ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

12/18/2022

### ENGINEER'S CERTIFICATION:



I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the "MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS, AND HIGHWAYS", as adopted by the State of Florida Legislature, Chapter 72-328 F.S.

BHI 1130-1140 100TH ST  
1130-1140 100TH STREET,  
BAY HARBOR ISLANDS, FL 33154

DEVELOPER:  
REDHOEK + PARTNERS  
138 PIONEER STREET  
BROOKLYN, NY 11231  
T: 718.852.8162

DESIGNER:  
FAB 314 ARCHITECTURE WORKSHOP  
HAYESWOOD STREET 2 #121  
TEL AVIV-YAFO, 6816721, IL  
T: 972-50-888-2629

DESIGNER:  
PLUSKIN ARCHITECTURE PLLC  
233 BROADWAY, SUITE 2030  
NEW YORK, NY 10279  
T: 212-899-9885

ARCHITECT:  
CARL LEVIN ARCHITECTURE + DESIGN  
3390 MARY STREET, SUITE 135  
COCONUT GROVE, FL 33133  
T: 305 442 3118

CIVIL:  
NGA ENGINEERS INC.  
11231 SW 88TH ST., UNIT D-114  
MIAMI, FL 33176  
T: 305 200 6701

LANDSCAPE:  
STRATA LANDSCAPE ARCHITECTURE  
1906 TIGERVALE AVE  
MIAMI, FL 33133  
T: 305 747 9336

LIGHTING:  
POWER & LIGHTING SYSTEMS, INC.  
3832 SHIPPING AVE.  
MIAMI, FL 33146  
T: 305 444 8520

DOB APPROVAL STAMP

DOB APPROVAL SCAN

KEY PLAN

PRINTING DATE  
01 ISSUE FOR SITE PLAN REVIEW 12.29.2022

NOT FOR CONSTRUCTION  
Consultant  
STAMP

DRAWN BY CHECK BY  
A.B.C. Nobel Valencia, PE No. 72193  
PROJECT NUMBER  
2218 Civil Engineer

TITLE  
Water & Sewer  
Details

DRAWING NO.

WS-3



— — — — —  $\mathbb{C}_L$

1. EXISTING TREES DESIGNATED TO REMAIN SHALL BE PROTECTED DURING ALL CONSTRUCTION PHASES. ANY TREES OR SHRUBS DESIGNATED TO REMAIN, WHICH ARE SCARRED OR DESTROYED WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SIMILAR SPECIES, SIZE AND QUALITY.
2. REFER TO AND COORDINATE WITH TREE DISPOSITION LIST.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED TREE REMOVAL / RELOCATION PERMITS PRIOR TO THE COMMENCEMENT OF WORK.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL EXISTING TREES PRIOR TO COMMENCEMENT OF WORK.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PROPERLY SECURE ALL PORTIONS OF THE SITE DURING TREE REMOVAL / RELOCATION PROCESS.

Tree #	Common Name	Botanical Name	DBH (inches)	Height (feet)	Canopy Diameter (feet)	TPZ Radius (feet)	Condition	Disposition Status
1	Melaleuca	<i>Melaleuca quinquenervia</i>	85	33	45	71	Moderate	Remove
2	Strangler Fig	<i>Ficus aurea</i>	72	34	50	60	Moderate	Remove
3	Strangler Fig	<i>Ficus aurea</i>	30	35	35	25	Moderate	Remove
4	Melaleuca	<i>Melaleuca quinquenervia</i>	30	35	35	25	Poor	Remove
5	Mango Tree	<i>Mangifera indica</i>	27	18	26	23	Moderate	Remove
6	Brazilian Pepper	<i>Schinus terebinthifolia</i>	15	20	18	13	Poor	Remove
7	Strangler Fig	<i>Ficus aurea</i>	5	22	10	4	Poor	Remove
8	Carrotwood	<i>Cupaniopsis anacardiodes</i>	10	24	18	8	Poor	Remove

EXISTING TREE TO REMAIN

EXISTING TREE TO REMOVE

EXISTING TREE TO RELOCATE

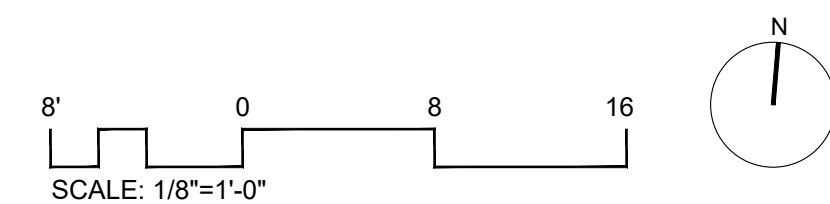
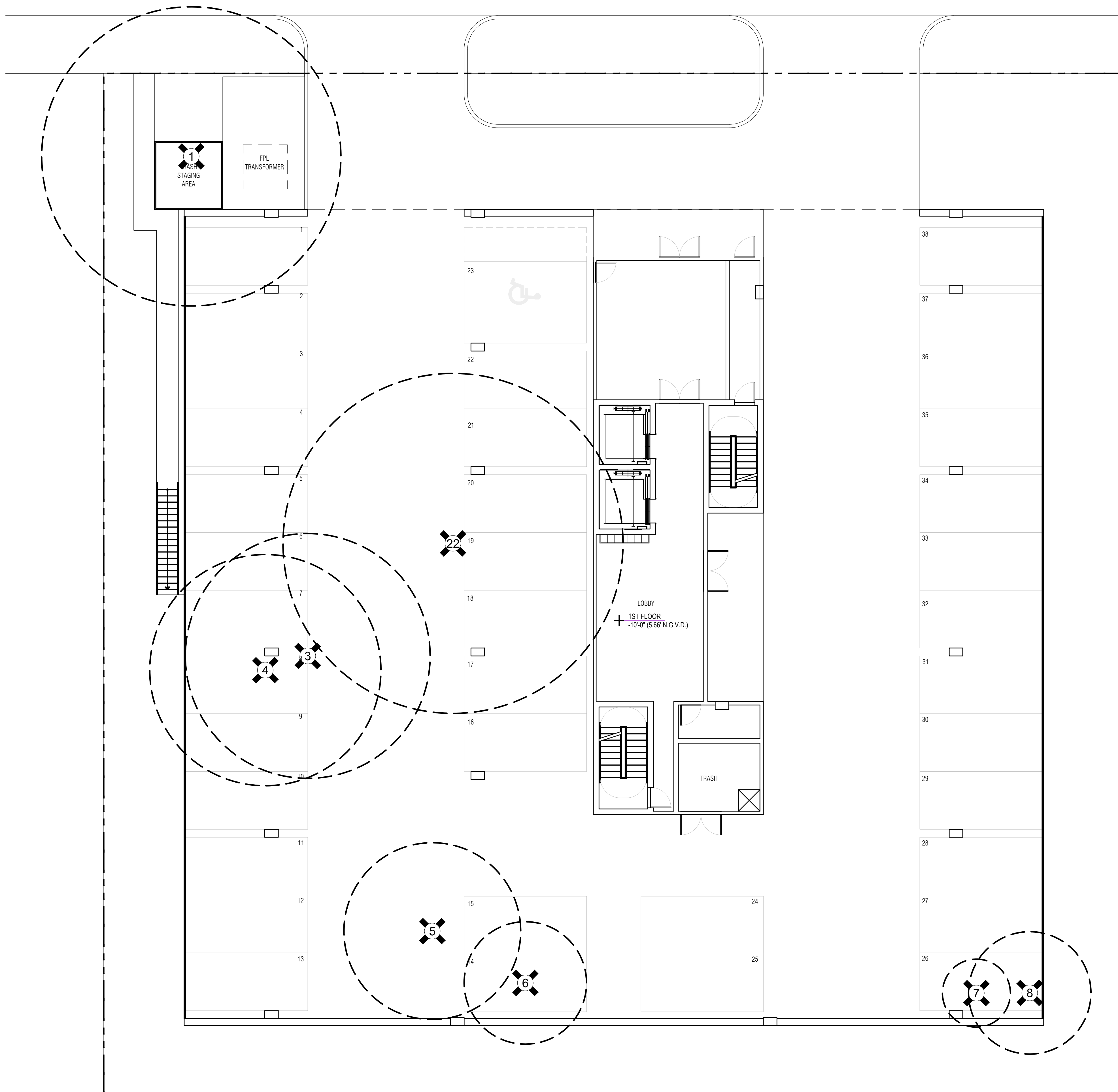
TREE PROTECTION FENCE AND ZONE

EXISTING PALM TO REMAIN

EXISTING PALM TO REMOVE

EXISTING PALM TO RELOCATE

LIMITS OF LANDSCAPE SCOPE OF WORK

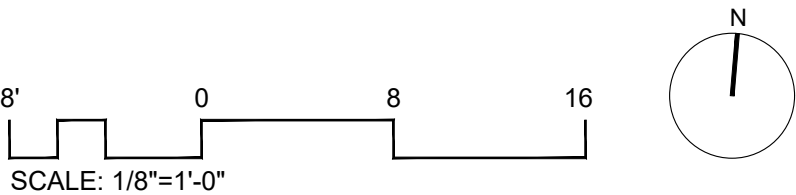






1ST FLOOR PLANT LIST				
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
STREET TREES				
Qvi	4	Quercus virginiana	Southern Live Oak	3" DBH 16' Ht. Min. 6' CT
TREES				
Ce	4	Conocarpus Erectus	Green Buttonwood	5" DBH 18'-20' Ht. Min. 4' CT
Ce2	10	Conocarpus Erectus	Green Buttonwood	4" DBH 14'-16' Ht. Min. 4' CT
Bsi	8	Bursera simaruba	Gumbo Limbo	4" DBH 14'-16' Ht. Min. 4' CT
Cdi	11	Coccoloba diversifolia	Pigeon Plum Tree	4" DBH 14'-16' Ht. Min. 4' CT
Efo	6	Eugenia foetida	Spanish Stopper	2" DBH 12' Ht. Min. 4' CT
PALMS				
Rel	4	Roystonea elata	Royal Palm	20'-28' Ht. O.A.
Spa2	5	Sabal palmetto	Sabal Palm (crooked trunk)	14'-18' Ht. OA
SHRUBS				
Sr	10	Serenoa repens 'Silver Form'	Silver Saw Palmetto	15 Gal. 36" Ht.
Cac	15	Capparis cynophallophora	Jamaican Caper	15 Gal. 36" Ht.
Pn	40	Psychotria nervosa	Wild Coffee	15 Gal. 36" Ht.
Fm	30	Ficus microcarpa	Green Island Ficus	7 Gal. 18" Ht.
Cic	45	Chrysobalanus icaco	Redtip Cocoplum	15 Gal. 36" Ht.
NUMBER AND TYPE OF GROUNDCOVERS TO BE DETERMINED DURING THE NEXT DESIGN PHASE				

Town of Bay Harbor Islands, Florida Landscape Requirements Legend			
Multi-Family Residential / Townhouse Sites (RM-1, RM-2, RM-3) Town Landscape Code (Sec. 24-16) & Miami-Dade Landscape Code (Chapter 18A)			
Site Address	1130-1140 100TH St, Bay Harbor Islands		
Legal Description	Lot 5 & 6, Block 8 of Bay Harbor Island		
Net Lot Area	0.5165 Acres /	22,500SF	
		Required	Provided
I. Open Space Requirement			
1. Net Lot Area = 22,500 SF x 20% = 4,500 SF (BHI – Sec. 23-11)		20% / 4,500 SF	24% / 5,430SF
2. Maximum Lawn Area Allowed (MDC – Sec. 18A-6(A)(5)) a. Req. open space 4,500 SF x 60% = 2,700 SF		60% Max / 2,700 SF	4 % / 900 SF
II. Shade Trees			
A. Required			
1. 28 shade trees/acre: 28 x 0.5165 acres = 14 (Min. 12" in height / 4" clear wood / 2 1/2" caliper) (Palm trees substituted at a 3:1 ratio, max. 25% of required shade trees) (MDC – Sec. 18A-6(C)(5)) and BHI Sec. 24-16		14	39
2. Native Species Required - 50% Min. # of shade trees req. 7 x 50% = 4 (BHI – Sec. 24-16(a)(2))		7	39
3. Drought Tolerant and Low Maintenance Species Require – 50% Min. # of shade trees req. 7x 50% = 4 (MDC – Sec. 18A-6(C)(11)(b))		7	39
B. Tree Species			
1. Number of shade trees required (from Sec. (II)(A)(1) above)		14	
2. Number of shade tree species required (BHI – Sec. 24-16(a)(2))		4	4
C. Tree Heights			
1. Number of Stories of building		8	
2. Number of shade trees required (from Sec. (II)(A)(1) above)		14	
3. Shade tree heights required:		12 ft. - 0 % or 0 shade trees	
		14-16 ft. - 25 % or 3 shade trees	
		16-18 ft. - 50 % or 7 shade trees	
		18-20 ft. - 25 % or 4 shade trees	
		Required	Provided
III. Street Trees		4	4
1. Street Trees @ 1:35' Width of lot 100 / 35' = 2.85 (15' min height / 6" clear wood / 2 1/2" caliper) (Street tree species determined by Street Tree Master Plan) (Street trees do not count toward required on site shade trees) (BHI – Sec. 24-16(a)(2)(a))			
		Required	Provided
IV. Shrubs Required			
1. 10 shrubs required per shade tree (Min. 24" in height / visual screen min. 36" in height / max 24" on center) (BHI – Sec. 24-16(a)(2)(d))		140	140
2. Native Species Required - 30% Min. (MDC – Sec. 18A-6(D)(1)(a))		42	60
3. Drought Tolerant and Low Maintenance Species Required – 50% Min. (MDC – Sec. 18A-6(D)(1)(b))		70	140



strata

LANDSCAPE ARCHITECTURE

1906 Tigertail Ave, Miami, FL 33133

strata-landarch.com | 305.747.9336

PROJECT TITLE:

BHI 1130-40 100TH ST

PROJECT ADDRESS:

1130-1140 100th St, Bay Harbor Islands, FL 33154

REV.	DATE	DESCRIPTION

SEAL:

REGISTERED LANDSCAPE ARCHITECT

PEAK STRACONI

LA6667526

STATE OF

FLORIDA

Peter Straconi, RLA #LA6667526

PROJECT NO:

71\_22

PHASE:

PERMITTING

DATE:

12/20/2022

DRAWN:

M.V.

CHECKED:

P.S.

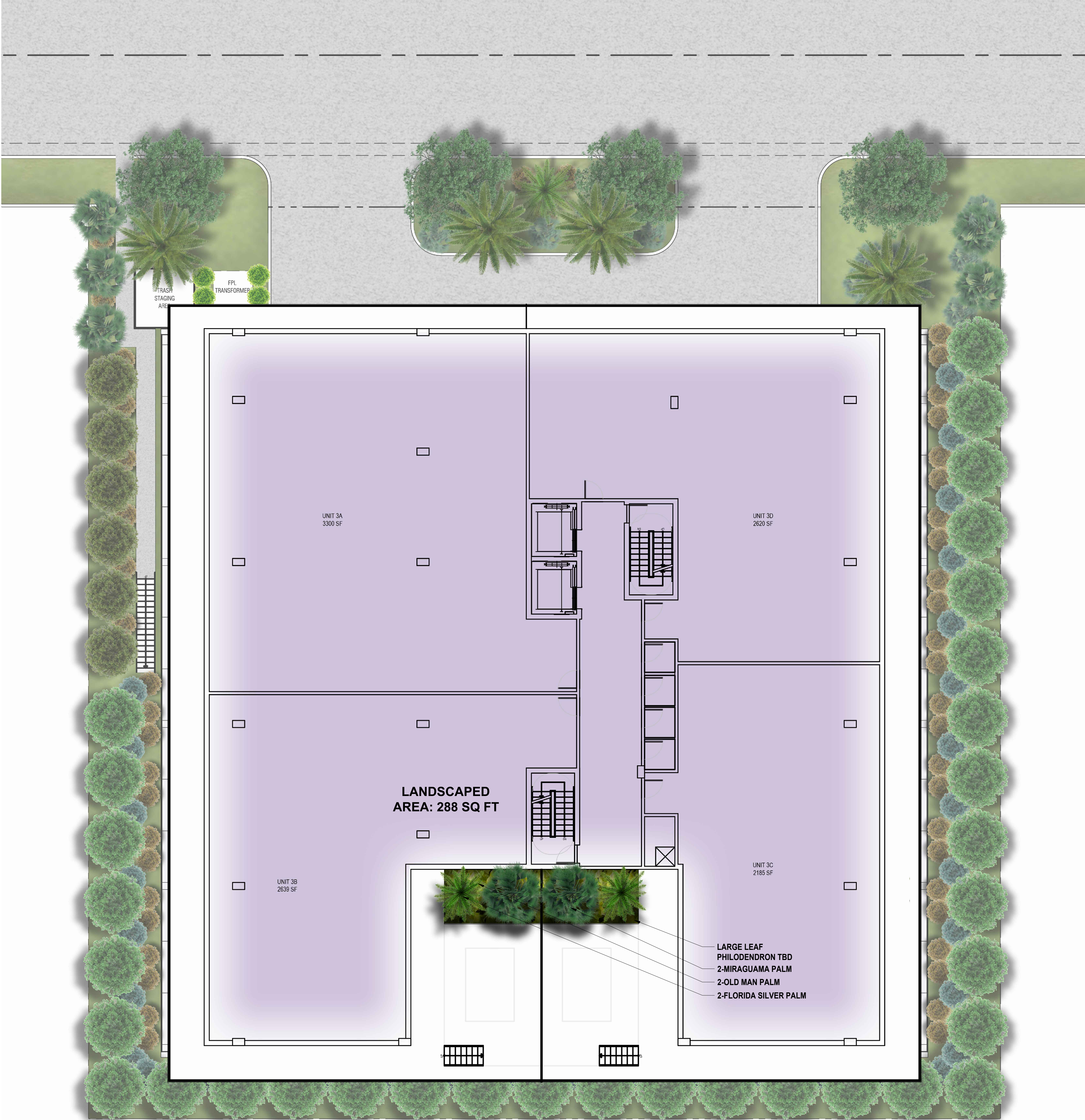
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FIRST FLOOR PLANTING PLAN

SHEET NO.

L.02





3RD FLOOR PLANT LIST				
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
PALMS				
Cmi	2	<i>Coccothrinax miraguama</i>	Miraguama Palm	6'-10' Ht. OA
Car	2	<i>Coccothrinax argentata</i>	Florida Silver Palm	4'-6' Ht. OA
Ccr	2	<i>Coccothrinax crinita</i>	Old Man Palm	4'-6' Ht. OA
NUMBER AND TYPE OF GROUNDCOVERS TO BE DETERMINED DURING THE NEXT DESIGN PHASE				

**strata**  
LANDSCAPE ARCHITECTURE  
1906 Tigertail Ave, Miami, FL 33133  
strata-landarch.com | 305.747.9336

PROJECT TITLE:  
**BHI 1130-40 100TH ST**

PROJECT ADDRESS:  
1130-1140 100th St, Bay Harbor Islands, FL 33154

REV.	DATE	DESCRIPTION

SEAL:  
  
Peter Stracconali, RLA #LA6667526

PROJECT NO: 71\_22

PHASE: PERMITTING

DATE: 12/20/2022

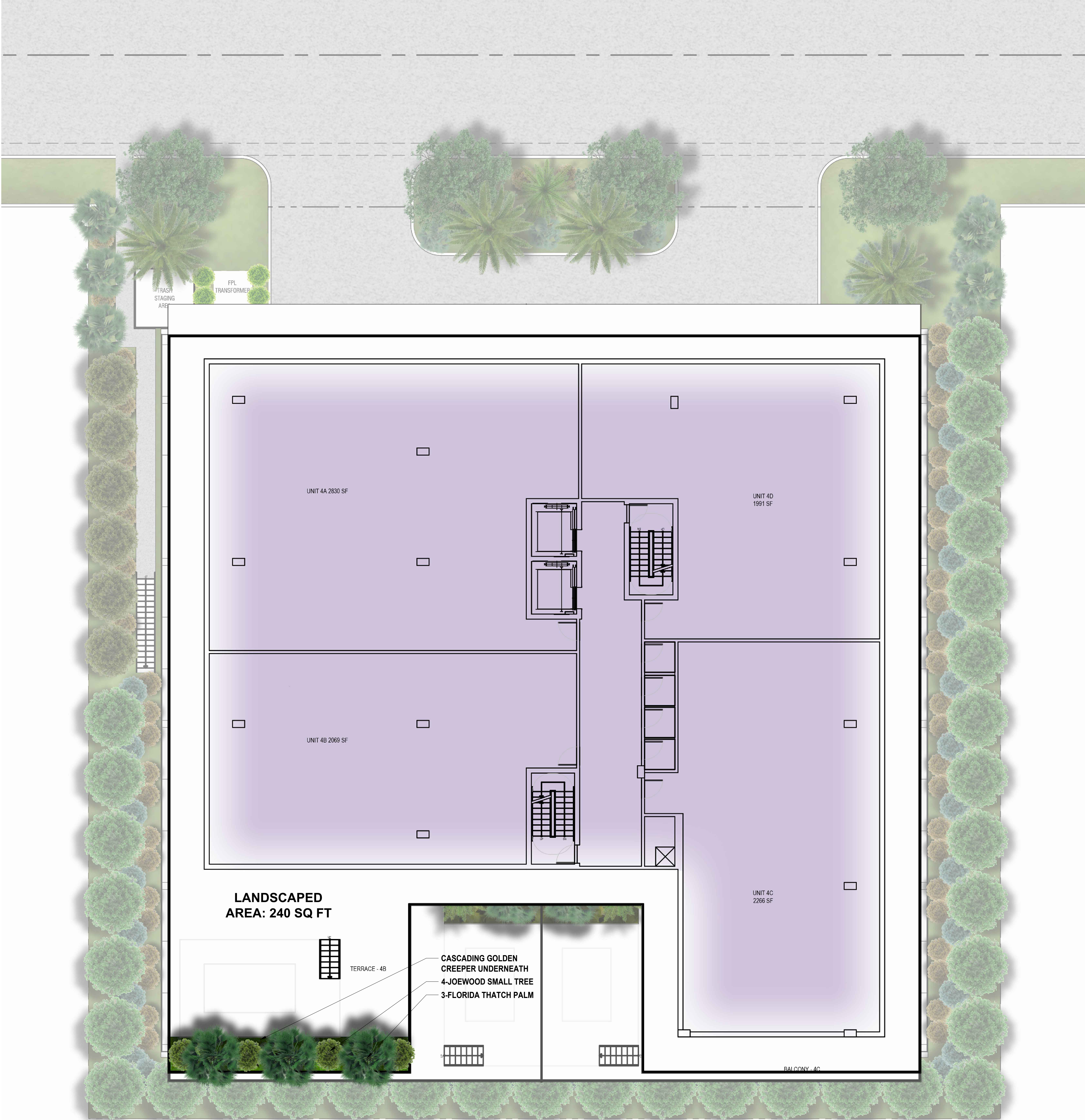
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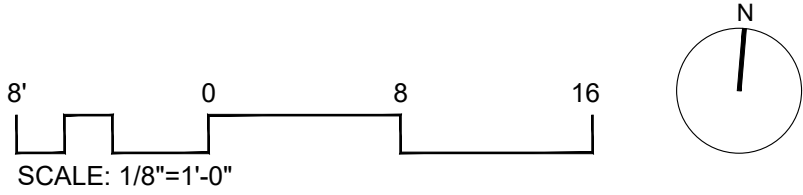
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**3RD FLOOR  
PLANTING PLAN**

SHEET NO.  
**L.03**





4TH FLOOR PLANT LIST				
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TREES				
Jac	4	<i>Jacquinia keyensis</i>	Joewood Tree	25 Gal. Sculptural
PALMS				
Tra	3	<i>Thrinax radiata</i>	Florida Thatch Palm	6'-10' Ht. OA
SHRUBS				
EI	TBD	<i>Ermodea littoralis</i>	Golden Creeper	1 Gal.



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LANDSCAPE ARCHITECTURE

1906 Tigertail Ave. Miami, FL 33133

strata-landarch.com | 305.747.9336

PROJECT TITLE:

BHI 1130-40 100TH ST

PROJECT ADDRESS:

1130-1140 100th St, Bay Harbor Islands, FL 33154

REV.	DATE	DESCRIPTION

SEAL:

REGISTERED LANDSCAPE ARCHITECT

PETER STRACCONI

LA6667526

STATE OF FLORIDA

Peter Stracconi, RLA #LA6667526

PROJECT NO:

71\_22

PHASE:

PERMITTING

DATE:

12/20/2022

DRAWN:

M.V.

CHECKED:

P.S.

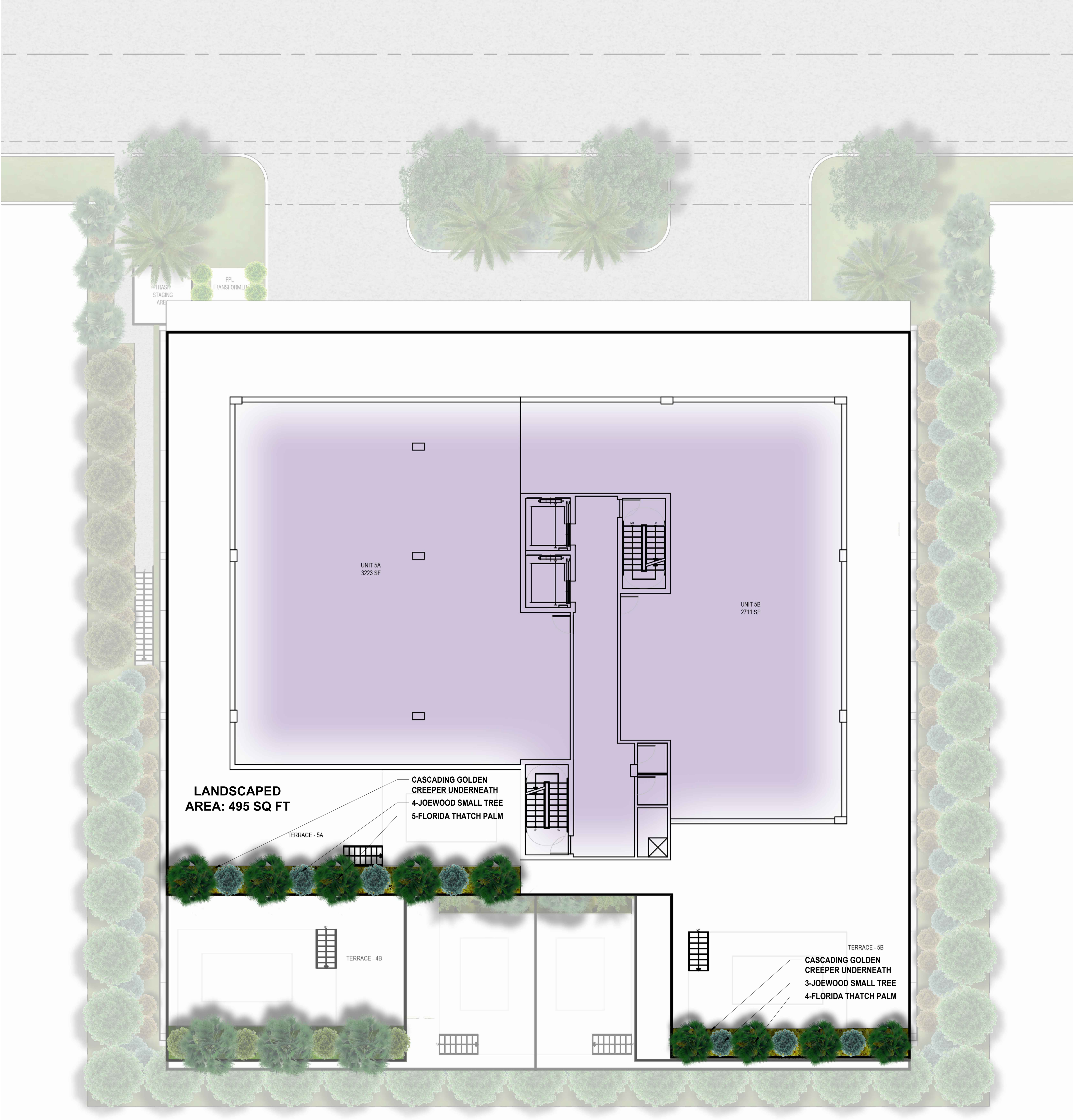
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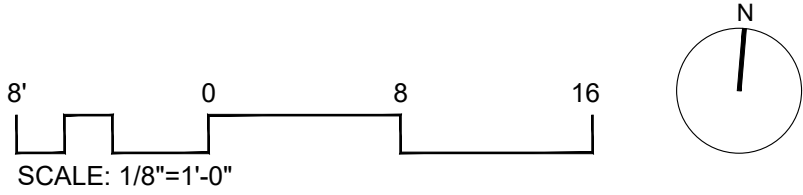
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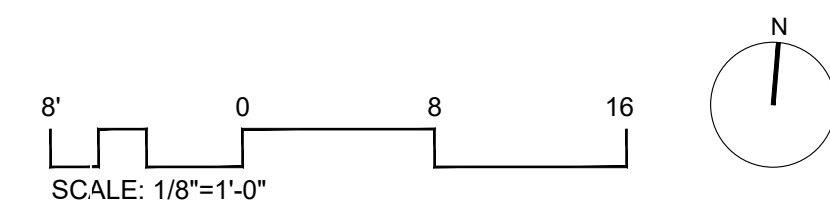
5TH FLOOR PLANT LIST				
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TREES				
Jac	7	<i>Jacquinia keyensis</i>	Joewood Tree	25 Gal. Sculptural
PALMS				
Tra	9	<i>Thrinax radiata</i>	Florida Thatch Palm	6'-10' Ht. OA
SHRUBS				
EI	TBD	<i>Ernodea littoralis</i>	Golden Creeper	1 Gal.



REV.	DATE	DESCRIPTION







7TH FLOOR PLANT LIST				
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
PALMS				
Cmi	5	<i>Coccothrinax miraguama</i>	Miraguama Palm	6'-10' Ht. OA
SHRUBS				
El	TBD	<i>Emodea littoralis</i>	Golden Creeper	1 Gal.
ACCENTS				
Aat	6	<i>Agave attenuata</i>	Spineless Agave	3 Gal.

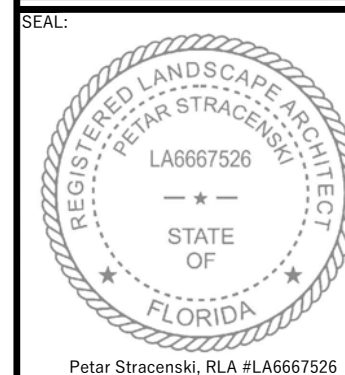
**strata**  
LANDSCAPE ARCHITECTURE  
1906 Tigertail Ave. Miami, FL 33133  
strata-landarch.com | 305.747.9336

**BHI 1130-40 100TH ST**

**PROJECT TITLE:**

ADDRESS:  
11130-1140 100th St, Bay Harbor Islands, FL 33154

PROJECT ADDRESS:

[illegible]

PROJECT NO: 71\_22

PHASE: PERMITTING

DATE: 12/20/2022

DRAWN: M.V.

CHECKED:	P.S.
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SHEET TITLE:

**7TH FLOOR  
PLANTING PLAN**

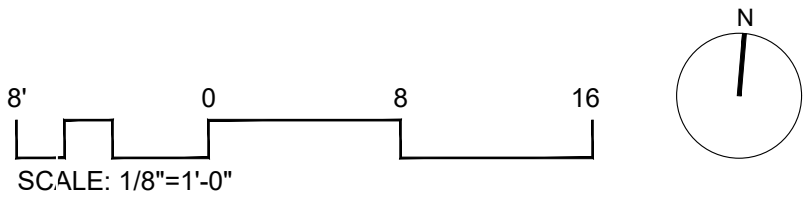
SHEET NO.

## L.06





ROOF TERRACE PLANT LIST				
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
PALMS				
Cmi	9	<i>Coccothrinax miraguama</i>	Miraguama Palm	6'-10' Ht. OA
Tra	9	<i>Thrinax radiata</i>	Florida Thatch Palm	6'-10' Ht. OA
Psa	11	<i>Pseudophoenix sargenti</i>	Buccaneer Palm	6'-10' Ht. OA
SHRUBS				
EI	TBD	<i>Ermodea littoralis</i>	Golden Creeper	1 Gal.
ACCENTS				
Aat	28	<i>Agave attenuata</i>	Spineless Agave	3 Gal.



REV.	DATE	DESCRIPTION

SEAL:  
  
Peter Stracconali, RLA #LA6667526

PROJECT NO: 71\_22  
PHASE: PERMITTING  
DATE: 12/20/2022  
DRAWN: M.V.  
CHECKED: P.S.  
SHEET TITLE:  
**ROOF TERRACE  
PLANTING PLAN**  
SHEET NO.  
**L.07**





Southern Live Oak  
*Quercus virginiana*



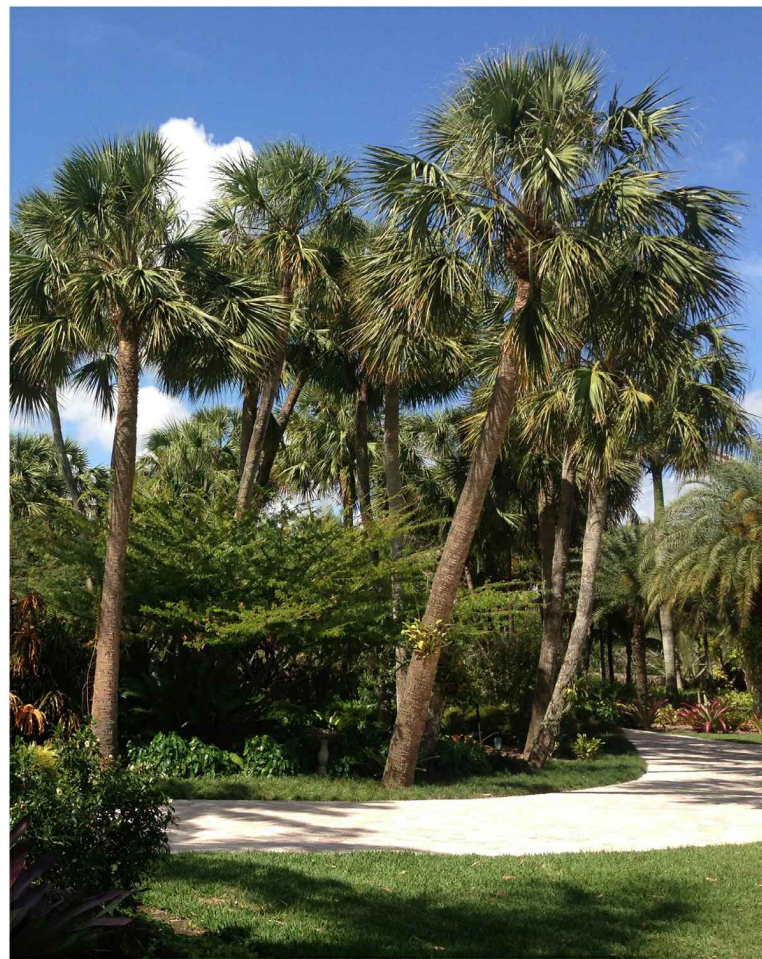
Bay Rum  
*Pimenta racemosa*



Green Buttonwood  
*Conocarpus Erectus*



Silver Buttonwood  
*Conocarpus erectus var. sericeus*



Sabal Palm  
*Sabal palmetto*



Silver Saw Palmetto  
*Serenoa repens 'Silver Form'*



Brazilian Beautyleaf  
*Calophyllum brasiliense*



Spanish Stopper  
*Eugenia foetida*



Royal Palm  
*Roystonea elata*



Hurricane Palm  
*Dictyosperma album*



Green Island Ficus  
*Ficus microcarpa*



Trinette  
*Schefflera arboricola 'Trinette'*



Florida Silver Palm  
*Coccothrinax argentata*



Old Man Palm  
*Coccothrinax crinita*



Guano Palm  
*Coccothrinax borhidiana*



Golden Creeper  
*Ernodea littoralis*



Jamaican Caper  
*Capparis cynophallophora*



Wild Coffee  
*Psychotria nervosa*



Vietnam leaf flower  
*Phyllanthus cochinchinensis*



Spineless Agave  
*Agave attenuata*



Jacquinia arborea  
*Braceletwood*



Jacquinia keyensis  
*Joewood*



Redtip Cocoplum  
*Chrysobalanus icaco*



Miraguama Palm  
*Coccothrinax miraguama*

